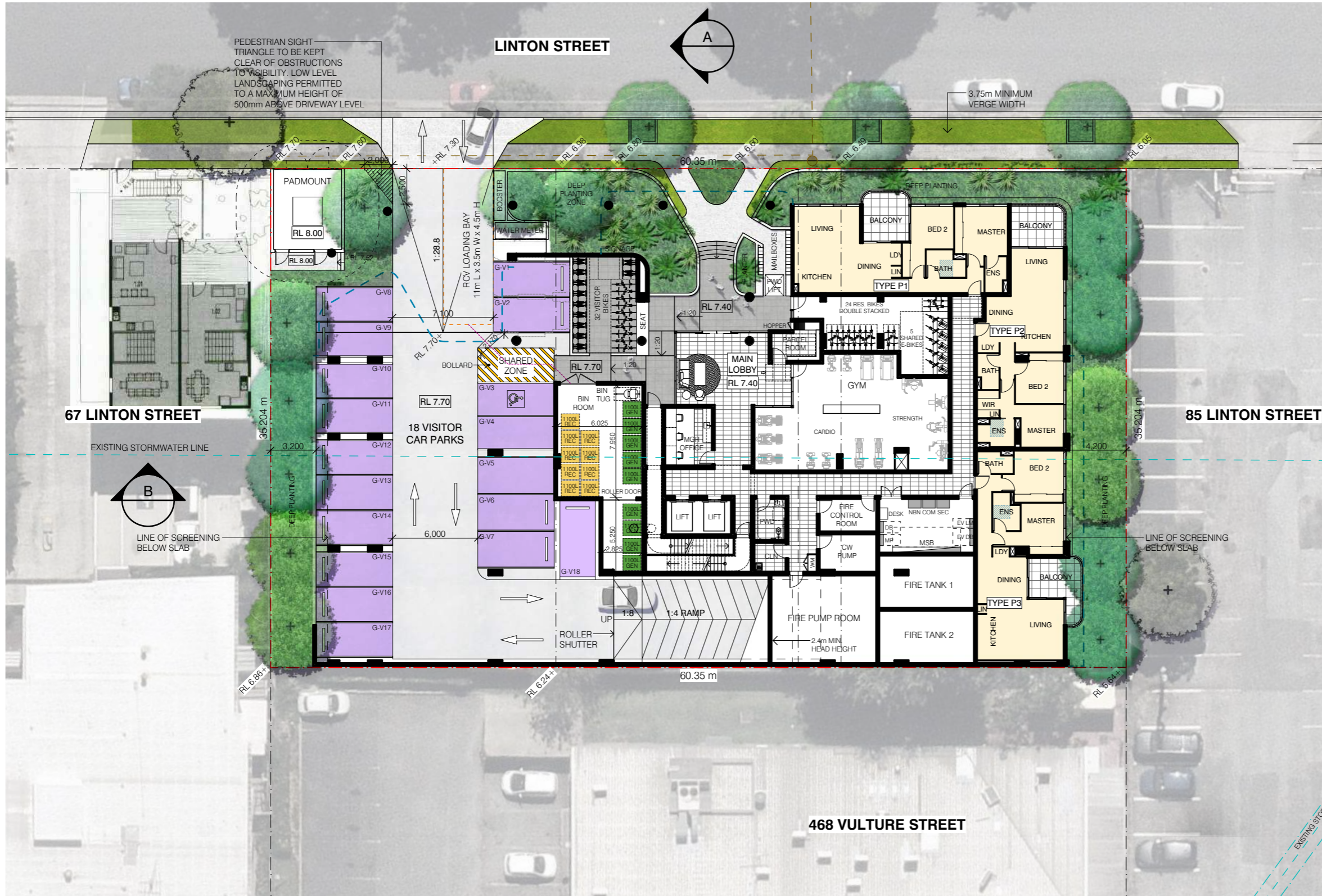


9.1 Architectural Drawings

Ground Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²
 Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR, 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small), 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

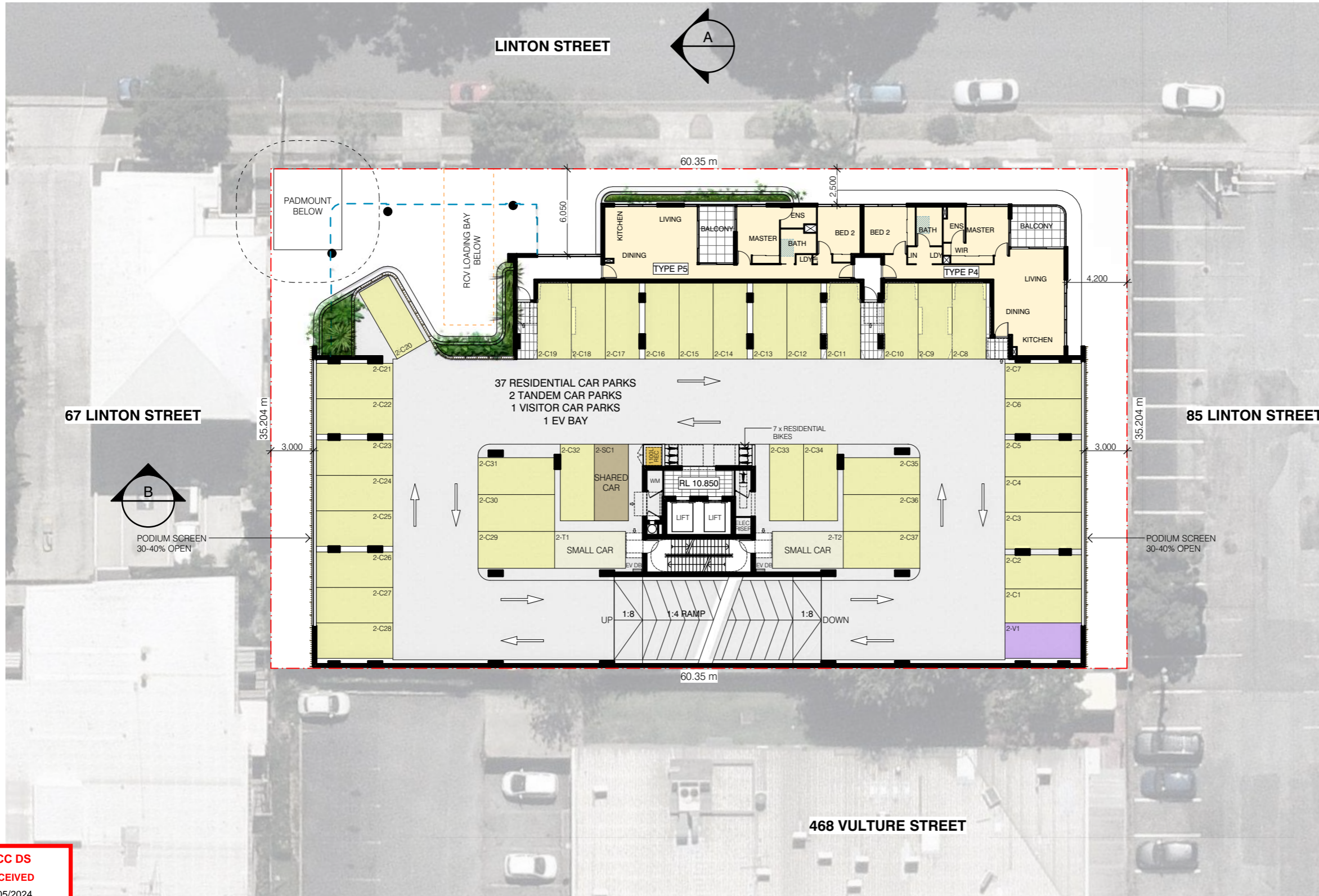
* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

GROUND FLOOR PLAN - 1:300 (A3)

9.2 Architectural Drawings

Level 2 Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bedrooms	Bathrooms	Cars
TYPE P1	1 Unit (0.8%)	2	2	1
TYPE P2	1 Unit (0.8%)	2	2	1
TYPE P3	1 Unit (0.8%)	2	2	1
TYPE P4	7 Units (5.5%)	2	2	1
TYPE P5	4 Units (3.1%)	2	2	1
TYPE A	22 Units (17.5%)	2	2	1
TYPE B	22 Units (17.5%)	2	2	1
TYPE C	22 Units (17.5%)	2	2	1
TYPE D	22 Units (17.5%)	3	2	2
TYPE E	12 Units (9.5%)	3	2	2
TYPE F	12 Units (9.5%)	3	2	2
TOTAL	126 DWELLINGS	298 BEDS		

* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

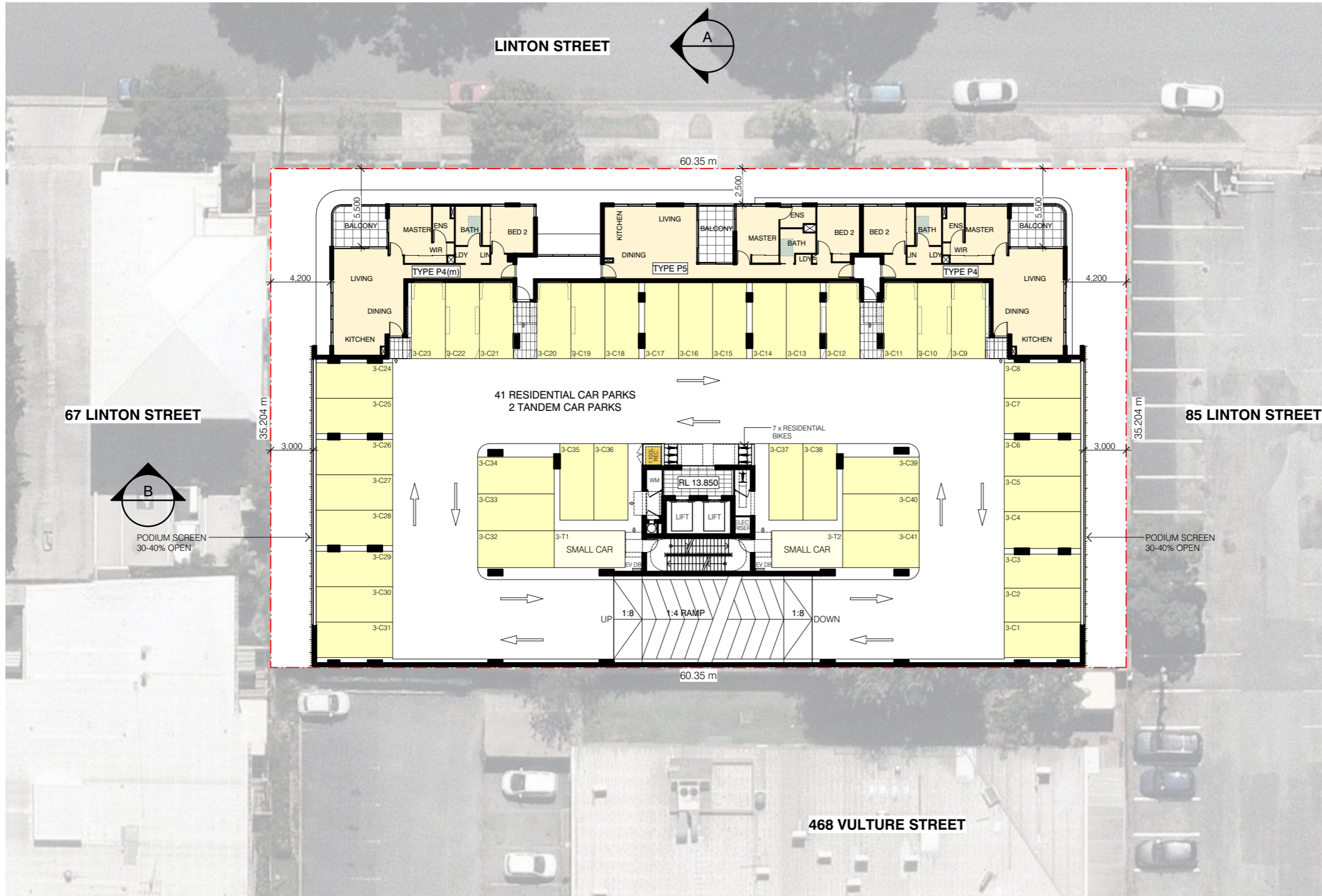
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LEVEL 2 FLOOR PLAN - 1:300 (A3)

9.3 Architectural Drawings

Level 3 Floor Plan

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DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bed, Bath, Car
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR, 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small), 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

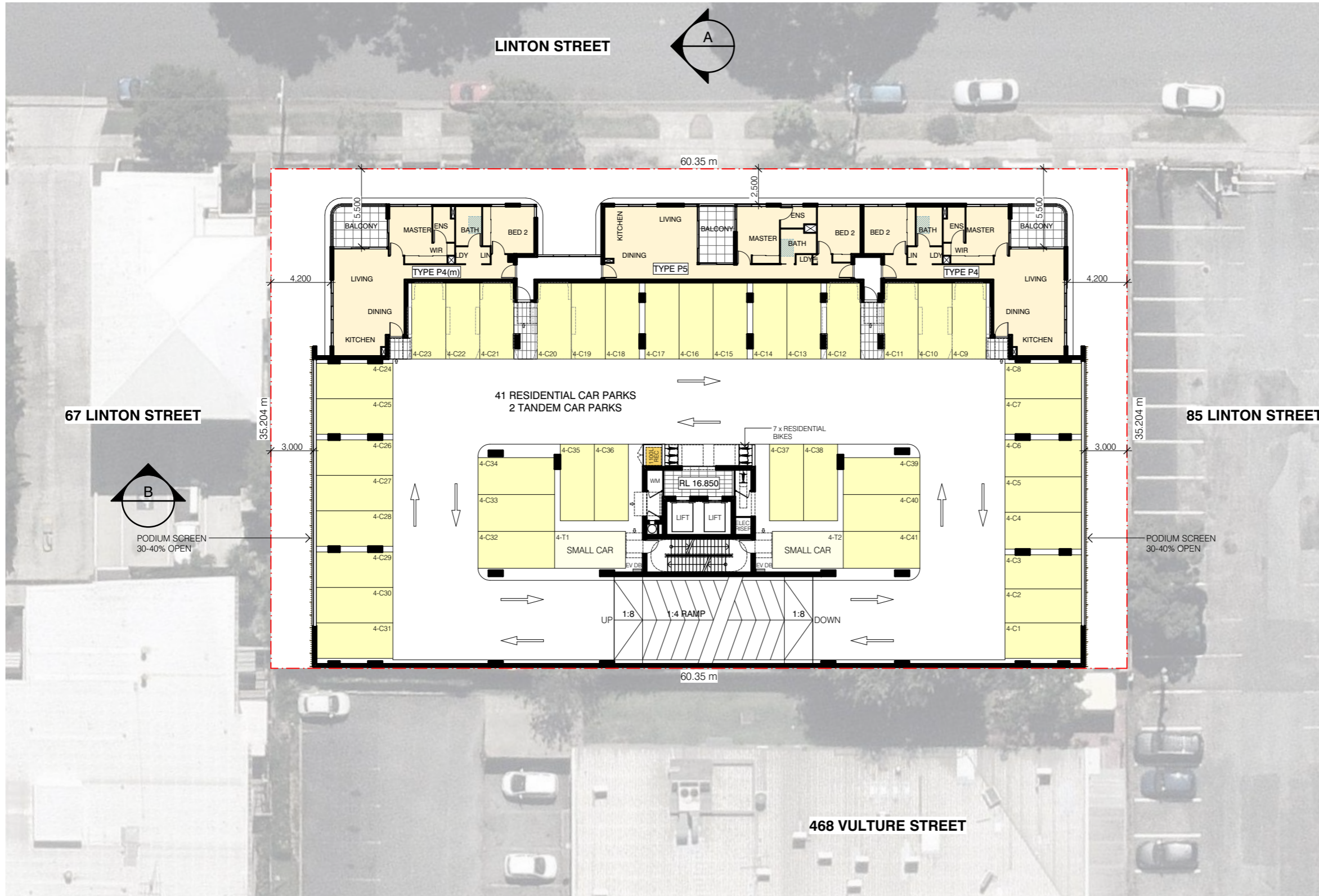
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* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

LEVEL 3 FLOOR PLAN - 1:300 (A3)

9.4 Architectural Drawings

Level 4 Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bedrooms	Bathrooms	Cars
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath	1 Bath	1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR	2 Bath, 1 Car	
TYPE D	22 Units (17.5%)	3 Bed (Small)	2 Bath, 2 Cars	
TYPE E	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TYPE F	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TOTAL	126 DWELLINGS	298 BEDS		

* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

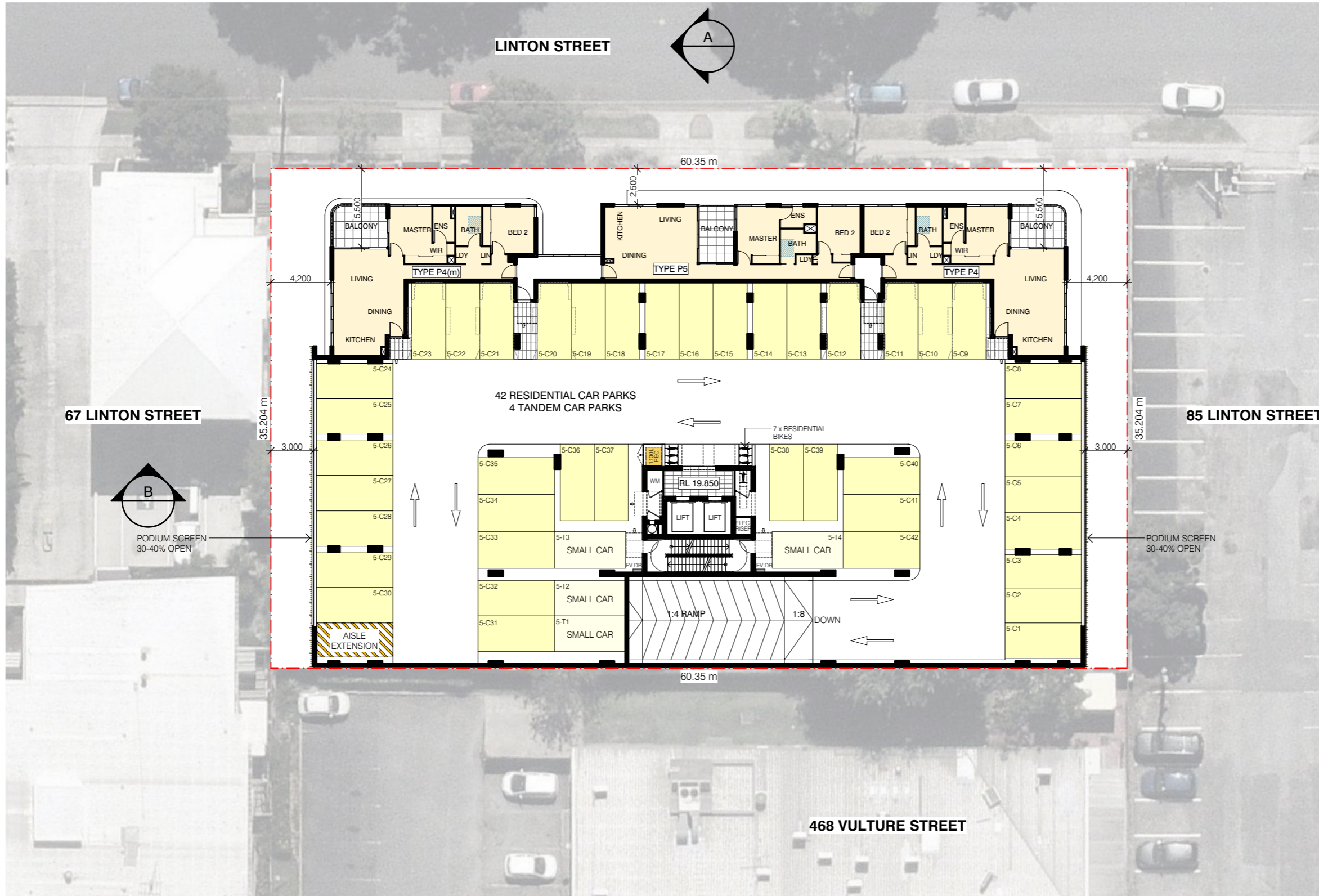
* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

LEVEL 4 FLOOR PLAN - 1:300 (A3)

9.5 Architectural Drawings

Level 5 Floor Plan

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DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bed, Bath, Car
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR, 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small), 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

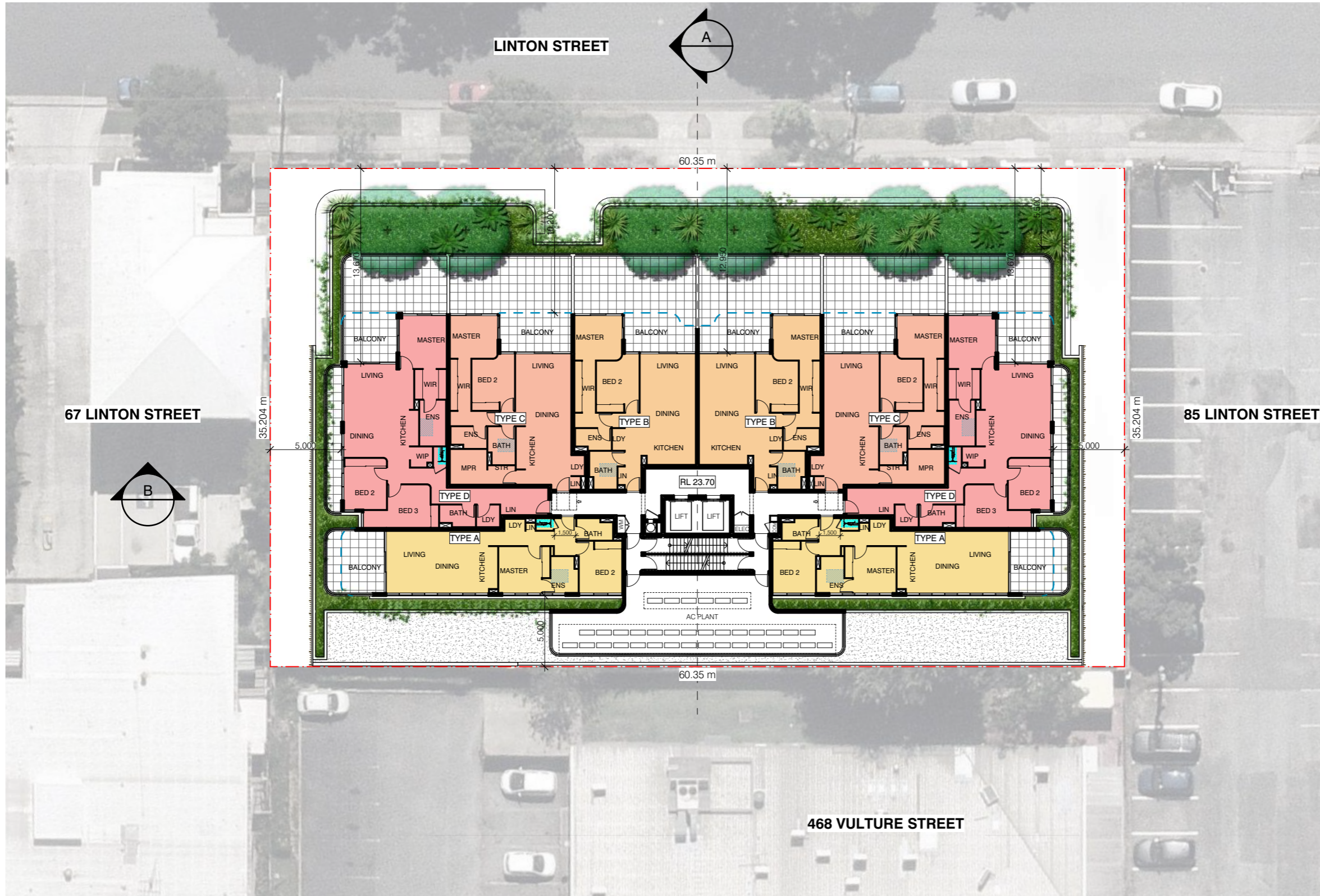
* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

LEVEL 5 FLOOR PLAN - 1:300 (A3)

9.6 Architectural Drawings

Level 6 Floor Plan

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 A006350800



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²
 Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

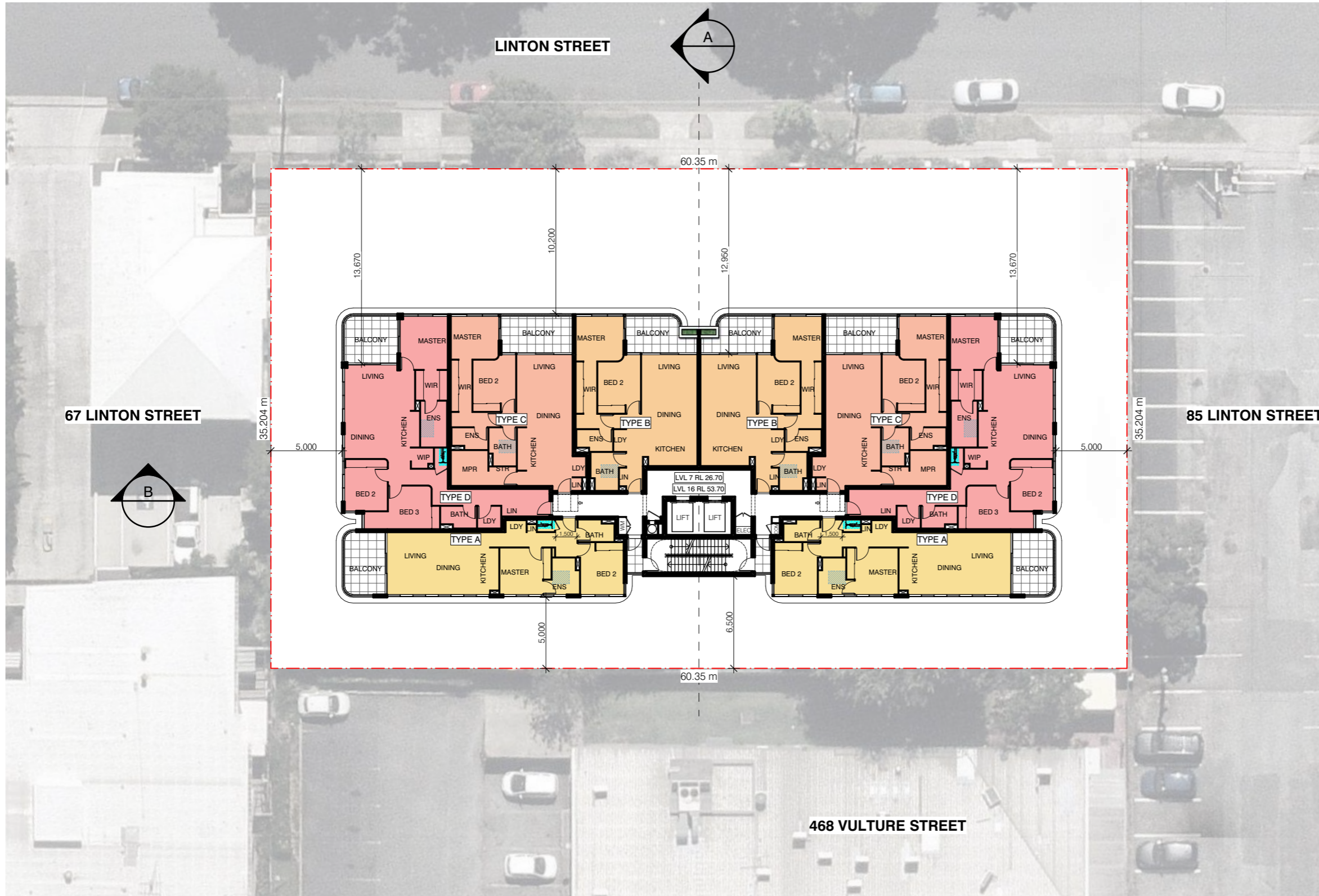
TYPE	Count	Percentage	Bedrooms	Bathrooms	Cars
TYPE P1	1 Unit	0.8%	2	2	1
TYPE P2	1 Unit	0.8%	2	2	1
TYPE P3	1 Unit	0.8%	2	2	1
TYPE P4	7 Units	5.5%	2	2	1
TYPE P5	4 Units	3.1%	2	2	1
TYPE A	22 Units	17.5%	2	2	1
TYPE B	22 Units	17.5%	2	2	1
TYPE C	22 Units	17.5%	2	2	1
TYPE D	22 Units	17.5%	3	2	2
TYPE E	12 Units	9.5%	3	2	2
TYPE F	12 Units	9.5%	3	2	2
TOTAL	126 DWELLINGS		298 BEDS		

* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change
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LEVEL 6 FLOOR PLAN - 1:300 (A3)

9.7 Architectural Drawings

Level 7,9,10,12,13,15,16 Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bedrooms	Bathrooms	Cars
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Car	
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Car	
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Car	
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath,	1 Car	
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath,	1 Car	
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath,	1 Car	
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath,	1 Car	
TYPE C	22 Units (17.5%)	2 Bed + MPR	2 Bath, 1 Car	
TYPE D	22 Units (17.5%)	3 Bed (Small)	2 Bath, 2 Cars	
TYPE E	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TYPE F	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TOTAL	126 DWELLINGS	298 BEDS		

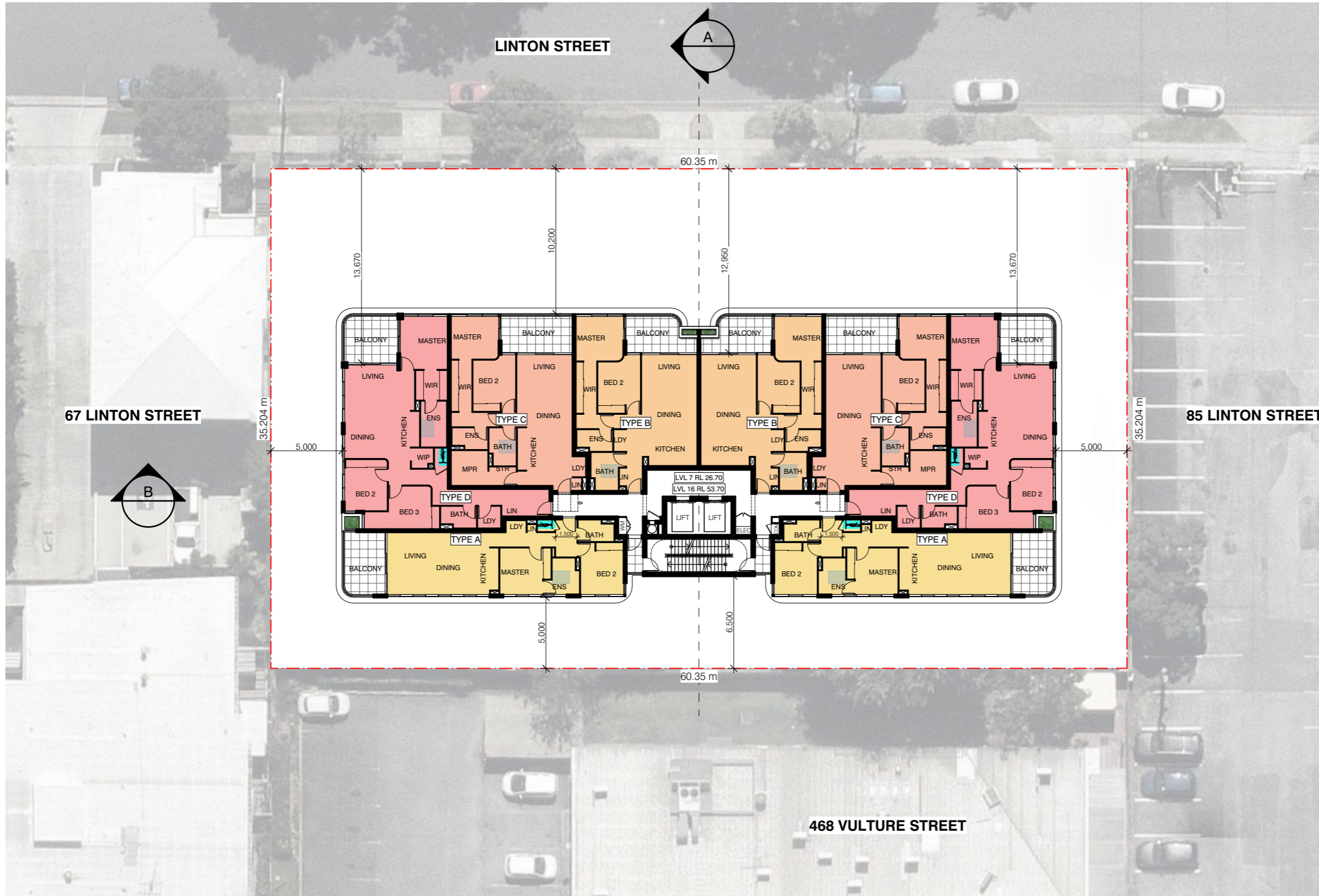
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* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies. Areas are approximate and will be subject to change

LEVEL 7,9,10,12,13,15,16 FLOOR PLAN - 1:300 (A3)

9.8 Architectural Drawings

Level 8,11,14 Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bedrooms	Baths	Cars
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath,	1 Bath,	1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR	2 Bath, 1 Car	
TYPE D	22 Units (17.5%)	3 Bed (Small)	2 Bath, 2 Cars	
TYPE E	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TYPE F	12 Units (9.5%)	3 Bed + MPR	2 Bath, 2 Cars	
TOTAL	126 DWELLINGS	298 BEDS		

* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

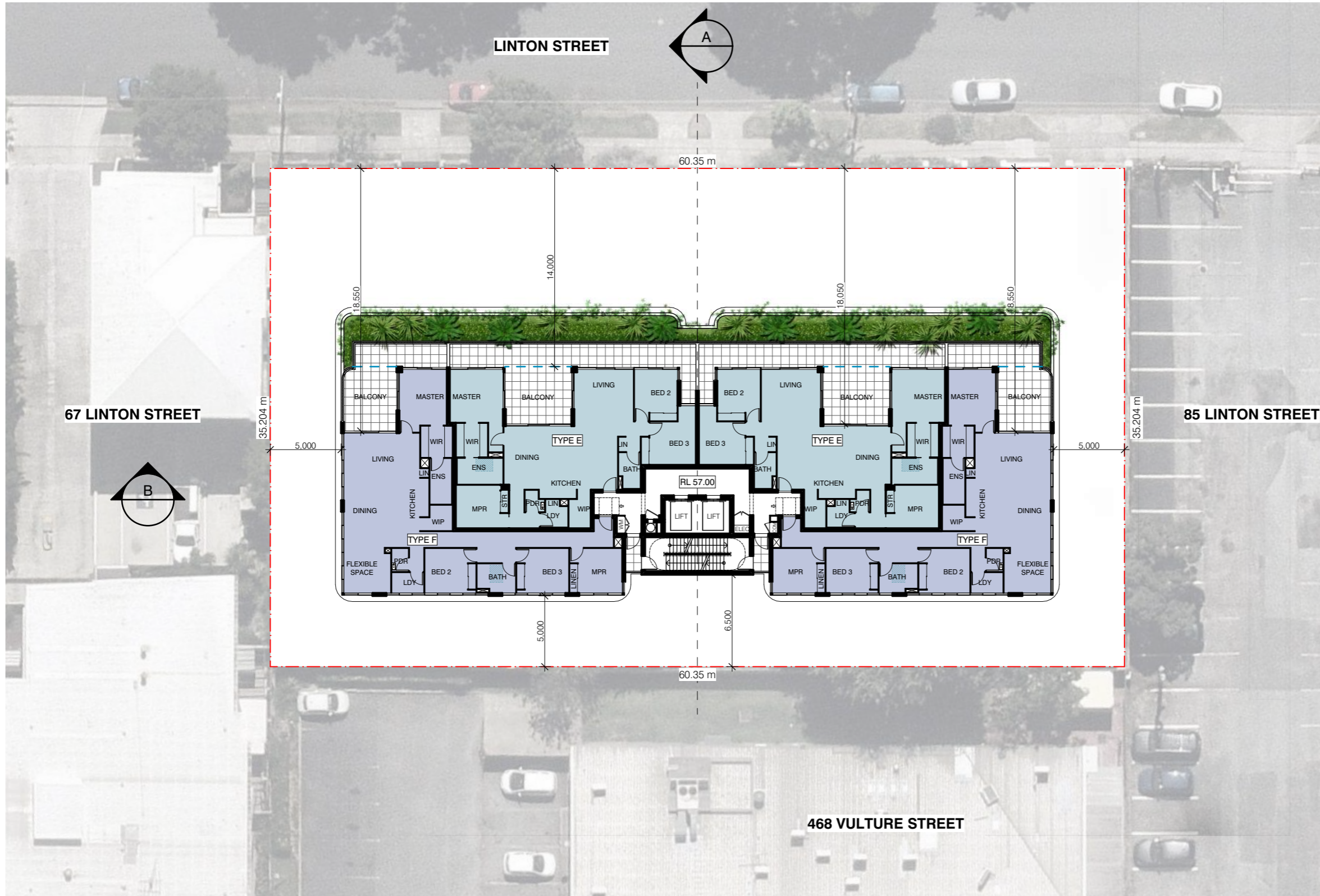
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LEVEL 8,11,14 FLOOR PLAN - 1:300 (A3)

9.9 Architectural Drawings

Level 17 Floor Plan

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DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Count (Percentage)	Bedrooms	Bathrooms	Cars
TYPE P1	1 Unit (0.8%)	2	2	1
TYPE P2	1 Unit (0.8%)	2	2	1
TYPE P3	1 Unit (0.8%)	2	2	1
TYPE P4	7 Units (5.5%)	2	2	1
TYPE P5	4 Units (3.1%)	2	2	1
TYPE A	22 Units (17.5%)	2	2	1
TYPE B	22 Units (17.5%)	2	2	1
TYPE C	22 Units (17.5%)	2	2	1
TYPE D	22 Units (17.5%)	3	3	2
TYPE E	12 Units (9.5%)	3	3	2
TYPE F	12 Units (9.5%)	3	3	2
TOTAL	126 DWELLINGS	298 BEDS		

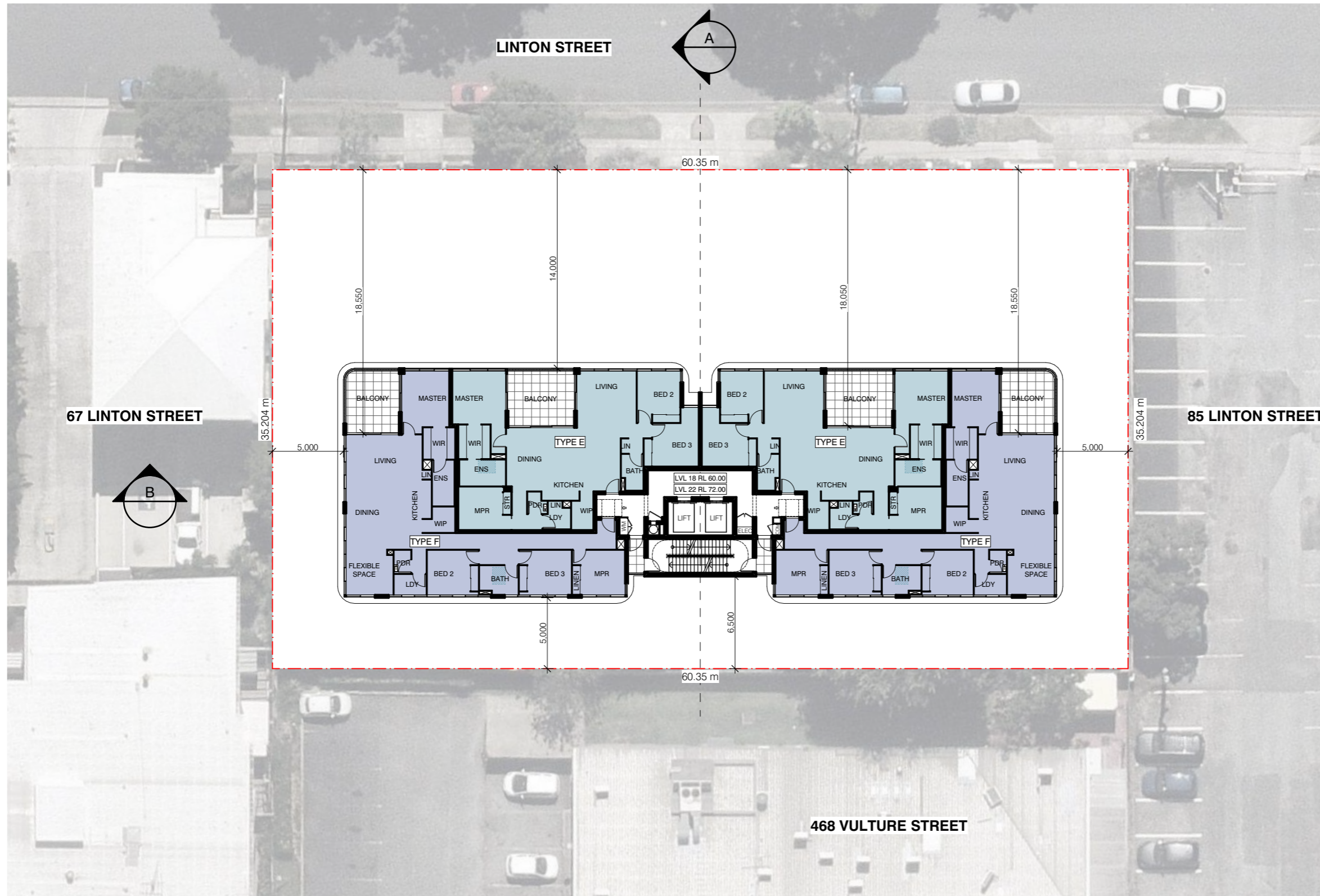
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LEVEL 17 FLOOR PLAN - 1:300 (A3)

9.10 Architectural Drawings

Level 18-22 Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE	Units (%)	Bed, Bath, Car
TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR, 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small), 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

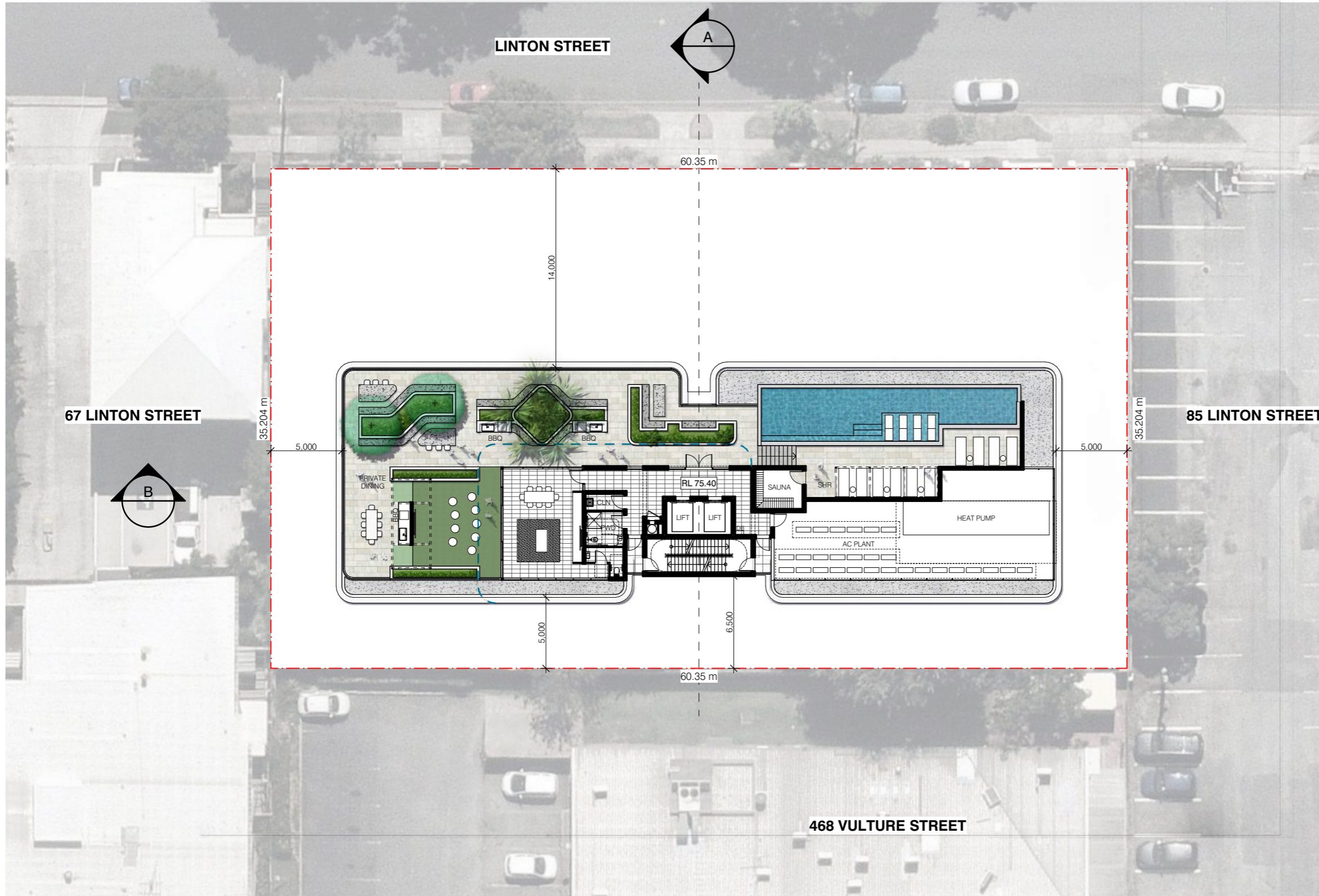
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* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balustrades. Areas are approximate and will be subject to change

LEVEL 18-22 FLOOR PLAN - 1:300 (A3)

9.11 Architectural Drawings

Roof Terrace Floor Plan



DEVELOPMENT SUMMARY

TOTAL SITE AREA: 2,124 m²

Height: 22 Storeys
 Site Cover Podium: 1,730m² (81.4%)
 Site Cover Lower Tower: 982m² (46.2%)
 Site Cover Upper Tower: 789m² (37.1%)
 Total Residential NSA: 15,511m²

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed, 2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed, 2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed, 2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed, 2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR, 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small), 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR, 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

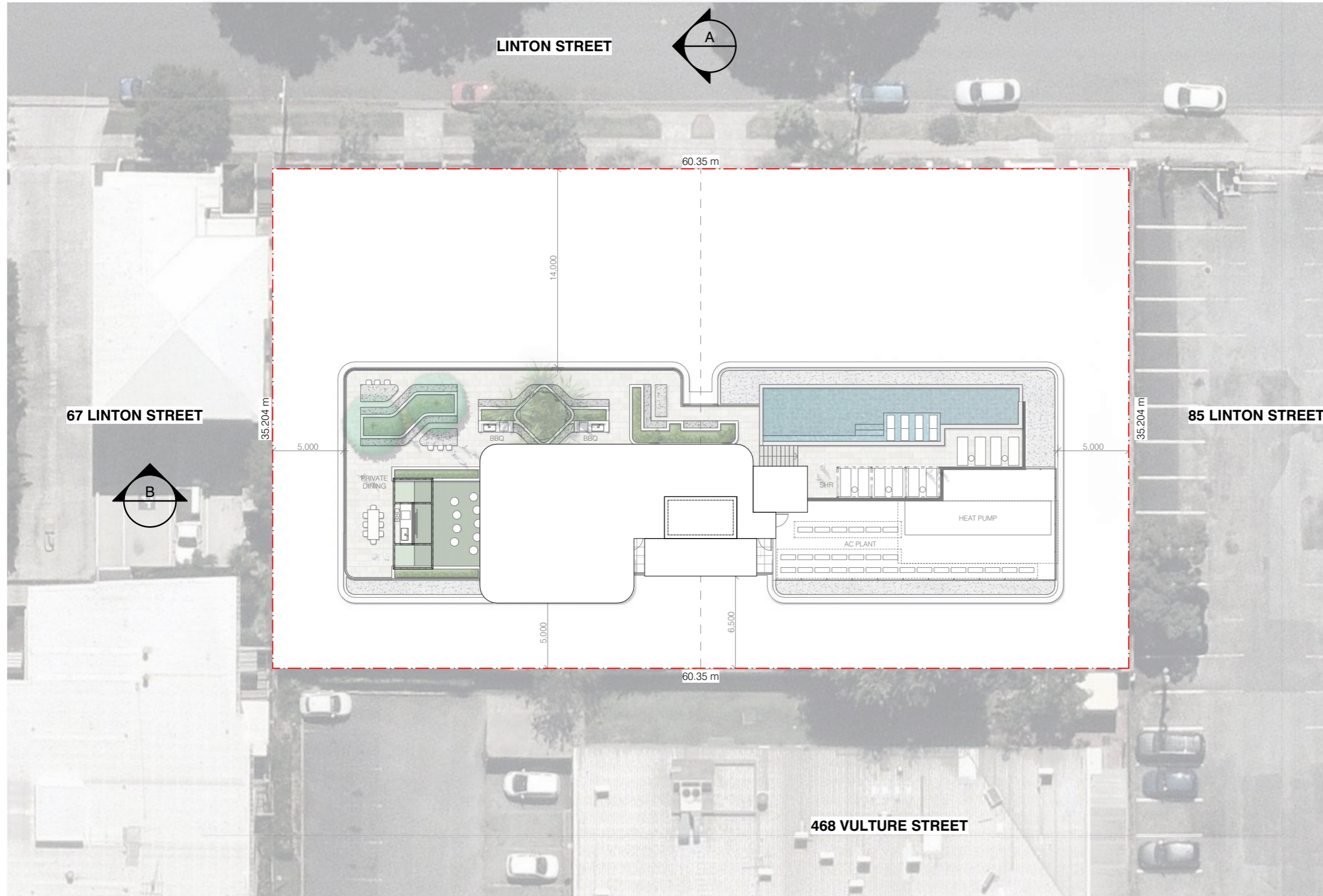
* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balustrades. Areas are approximate and will be subject to change

ROOF TERRACE FLOOR PLAN - 1:300 (A3)

9.12 Architectural Drawings

Roof Plan



ROOF PLAN - 1:300 (A3)

9.13 Architectural Drawings

North Elevation

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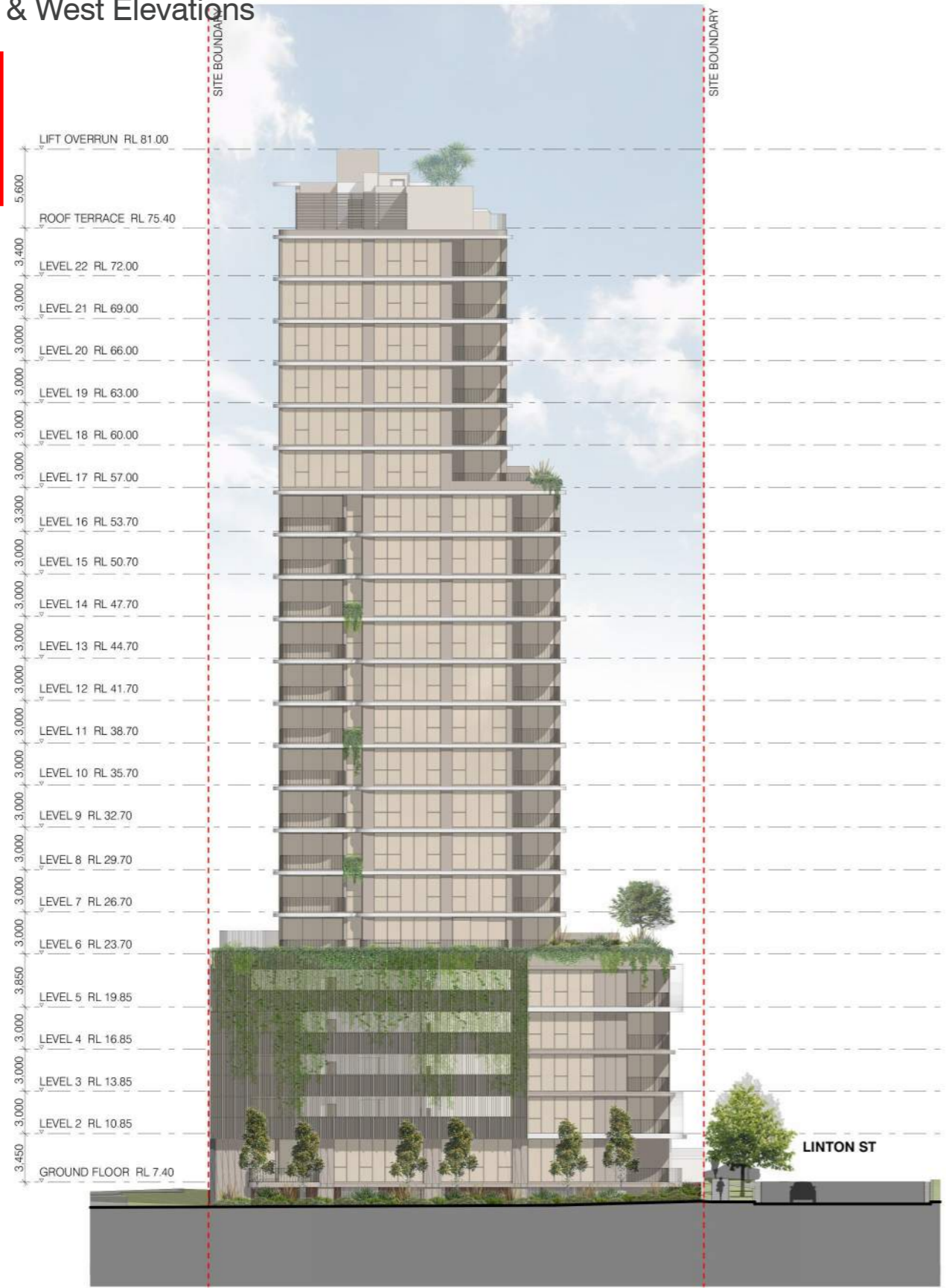
**Note: Landscape is indicative only. Refer Landscape Architect Report for detail.*

NORTH ELEVATION (LINTON STREET) - 1:400 (A3)

9.14 Architectural Drawings

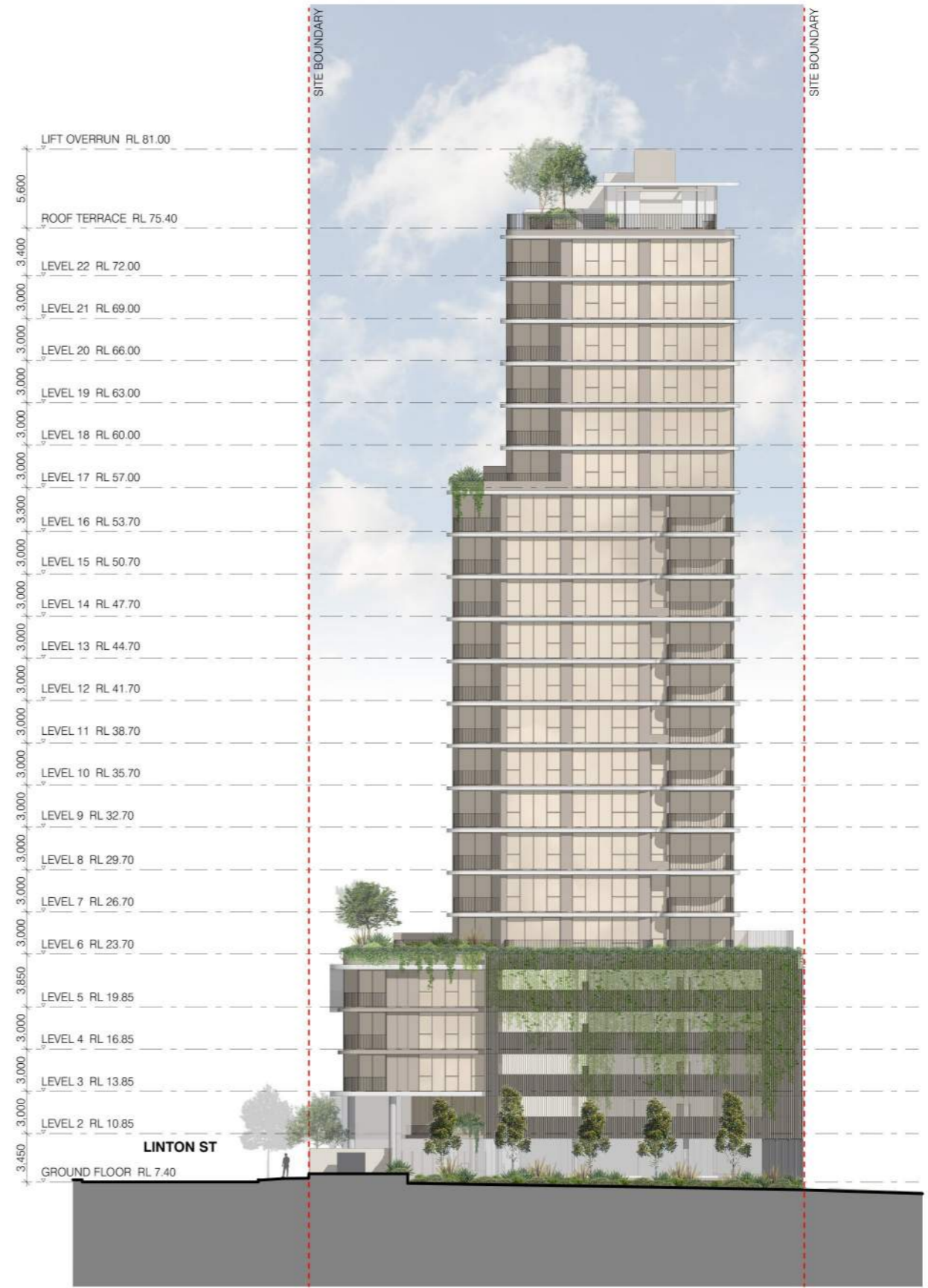
East & West Elevations

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EAST ELEVATION - 1:400 (A3)

**Note: Landscape is indicative only. Refer Landscape Architect Report for detail.*



WEST ELEVATION - 1:400 (A3)

9.15 Architectural Drawings

South Elevation

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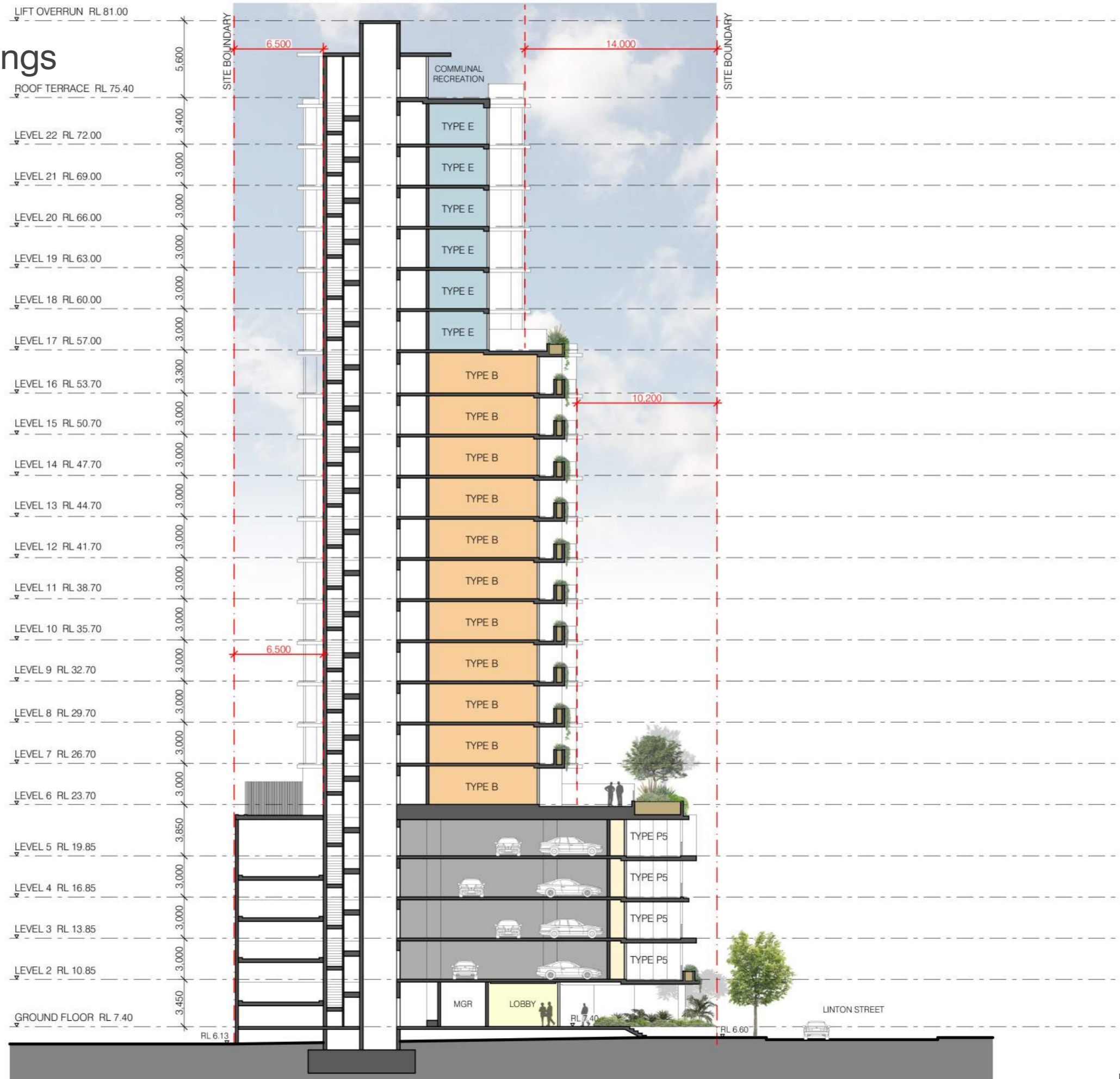
**Note: Landscape is indicative only. Refer Landscape Architect Report for detail.*

SOUTH ELEVATION - 1:400 (A3)

9.16 Architectural Drawings

Section A-A

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*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

SECTION A - 1:300 (A3)

9.17 Architectural Drawings

Section B-B

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*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

SECTION B - 1:300 (A3)