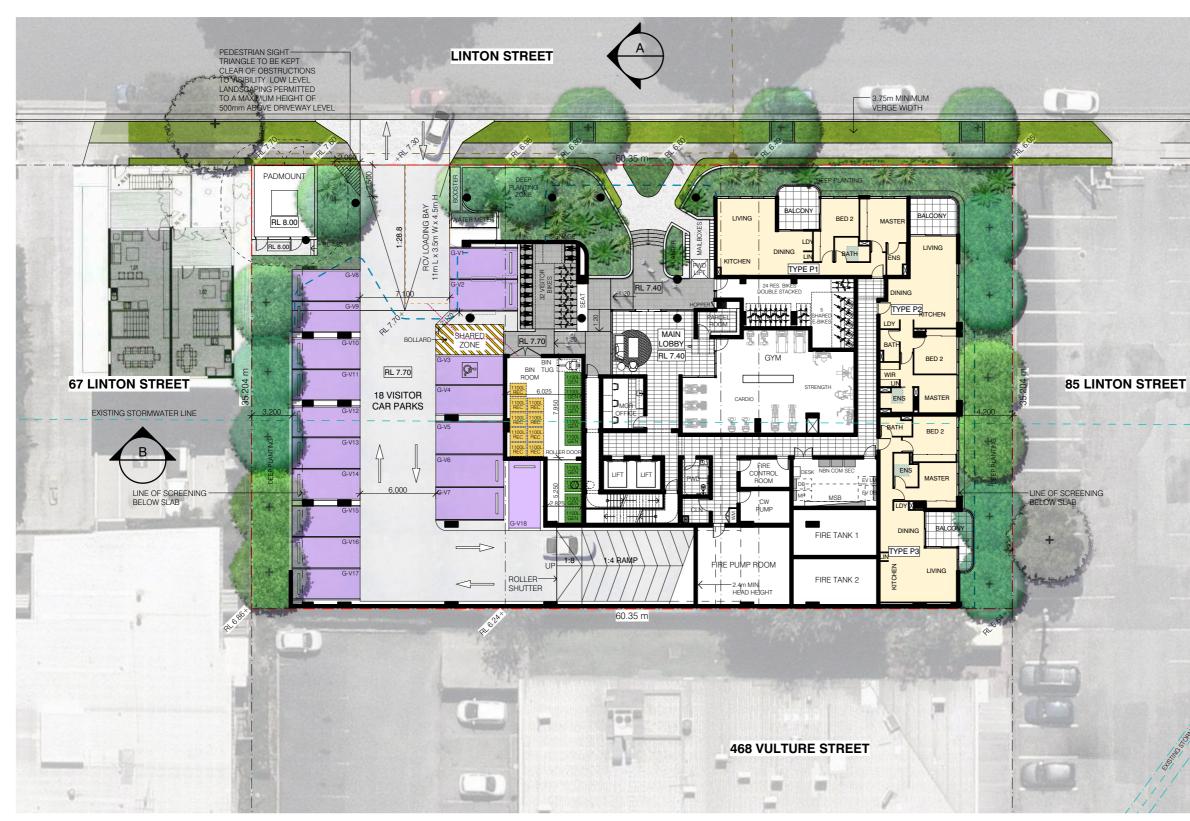
## 9.1 Architectural Drawings

Ground Floor Plan



### GROUND FLOOR PLAN - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

BCC DS RECEIVED 02/05/2024 APPLICATION REF

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

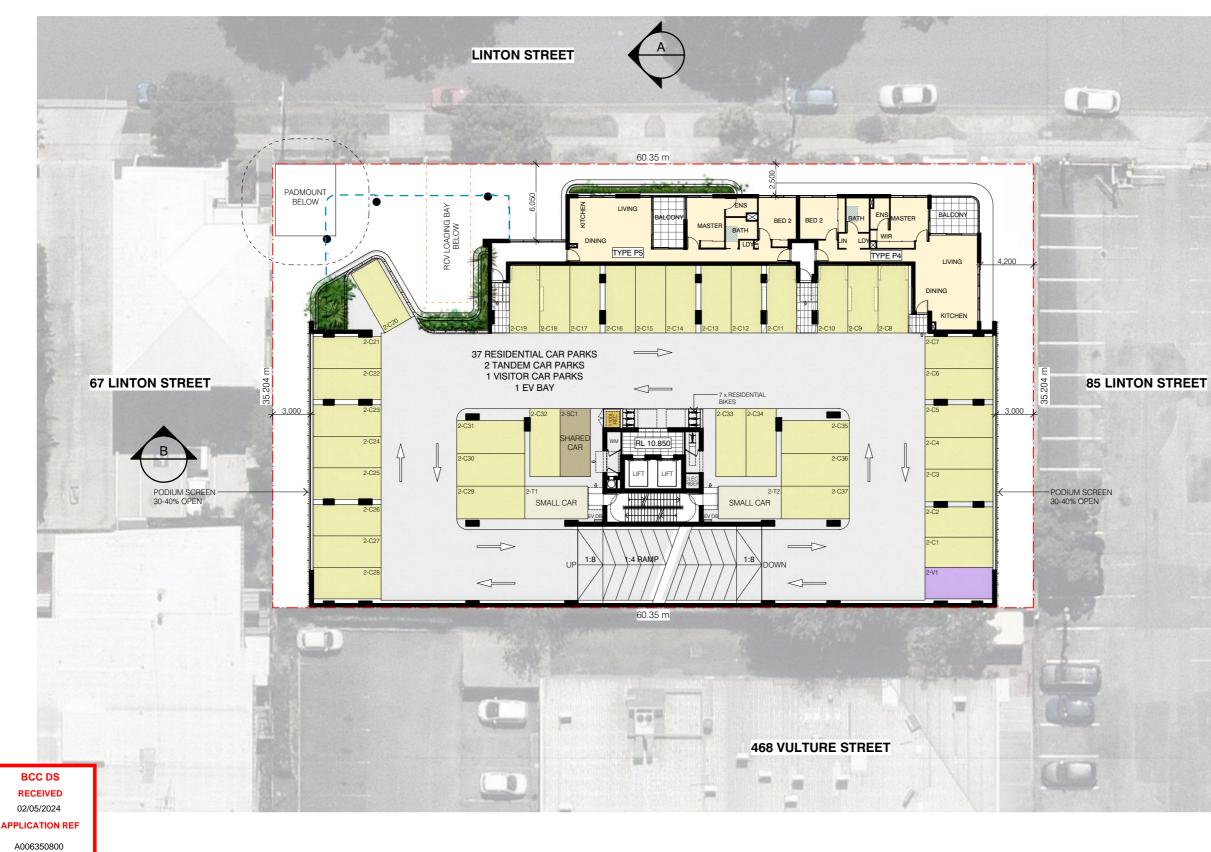
\* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



## 9.2 Architectural Drawings

Level 2 Floor Plan



### LEVEL 2 FLOOR PLAN - 1:300 (A3)



Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

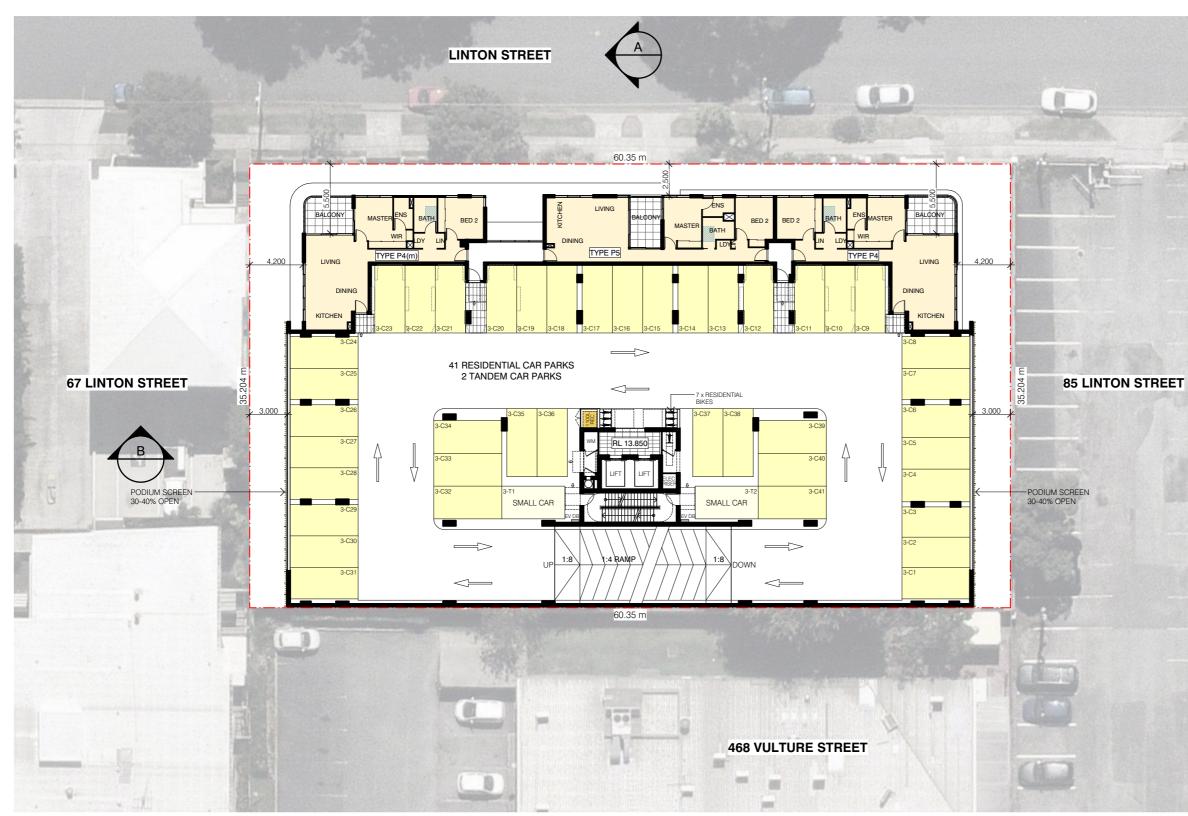
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\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



## 9.3 Architectural Drawings

Level 3 Floor Plan



### LEVEL 3 FLOOR PLAN - 1:300 (A3)

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A006350800

### **DEVELOPMENT SUMMARY** TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA:

22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

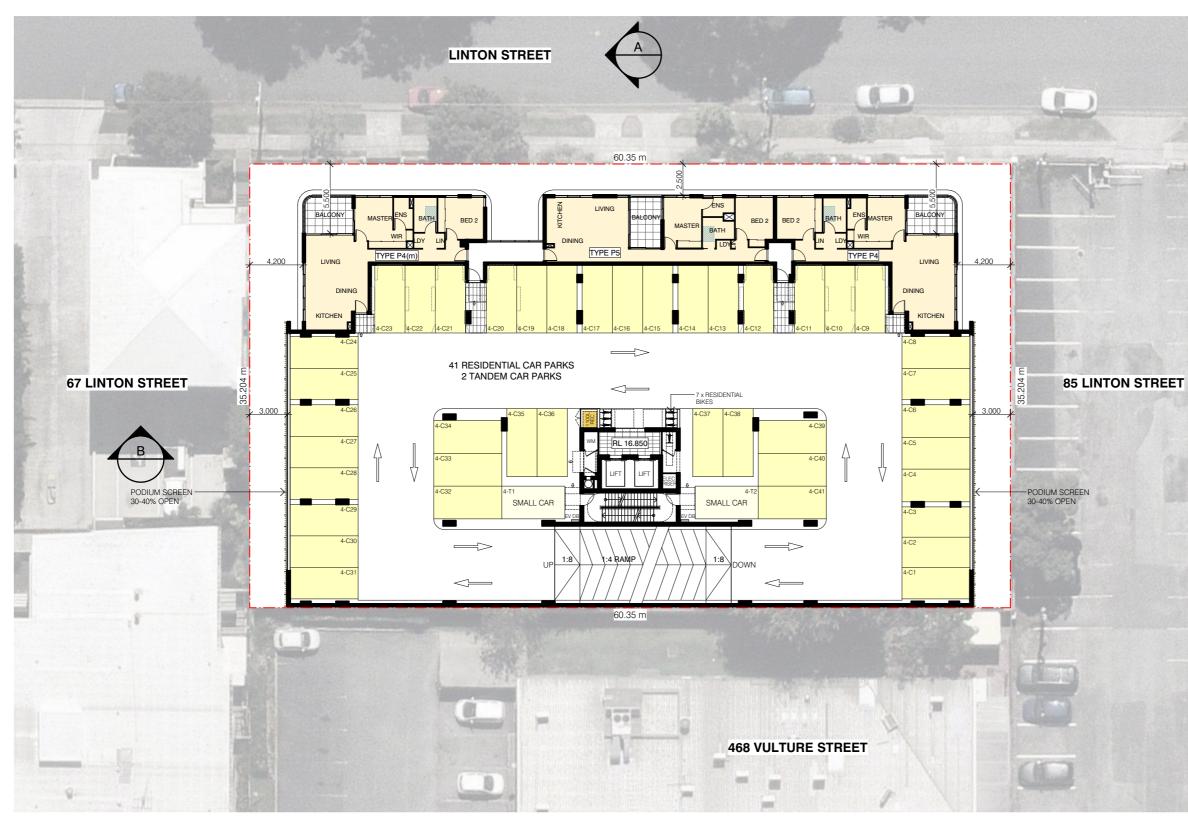
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\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



## 9.4 Architectural Drawings

Level 4 Floor Plan



### LEVEL 4 FLOOR PLAN - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

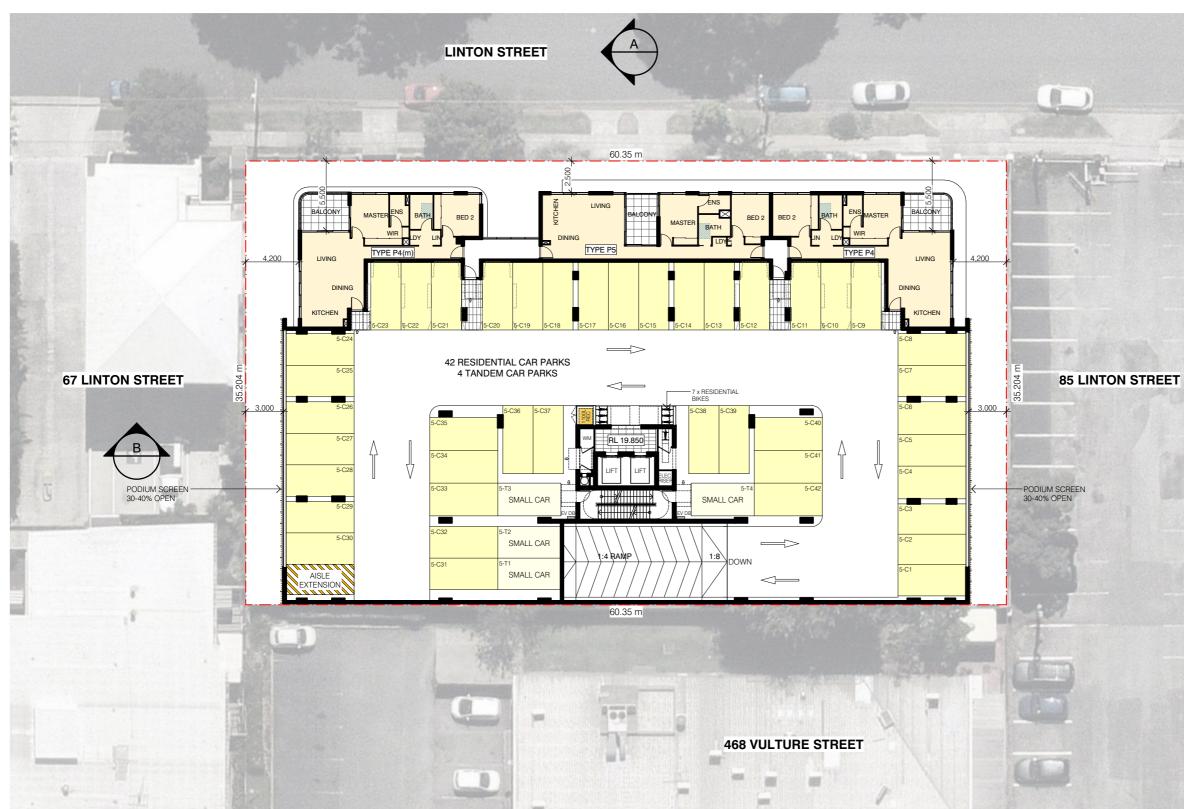
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## 9.5 Architectural Drawings

Level 5 Floor Plan



### LEVEL 5 FLOOR PLAN - 1:300 (A3)

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BCC DS RECEIVED 02/05/2024

**APPLICATION REF** 

A006350800

### **DEVELOPMENT SUMMARY** TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA:

22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

\* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

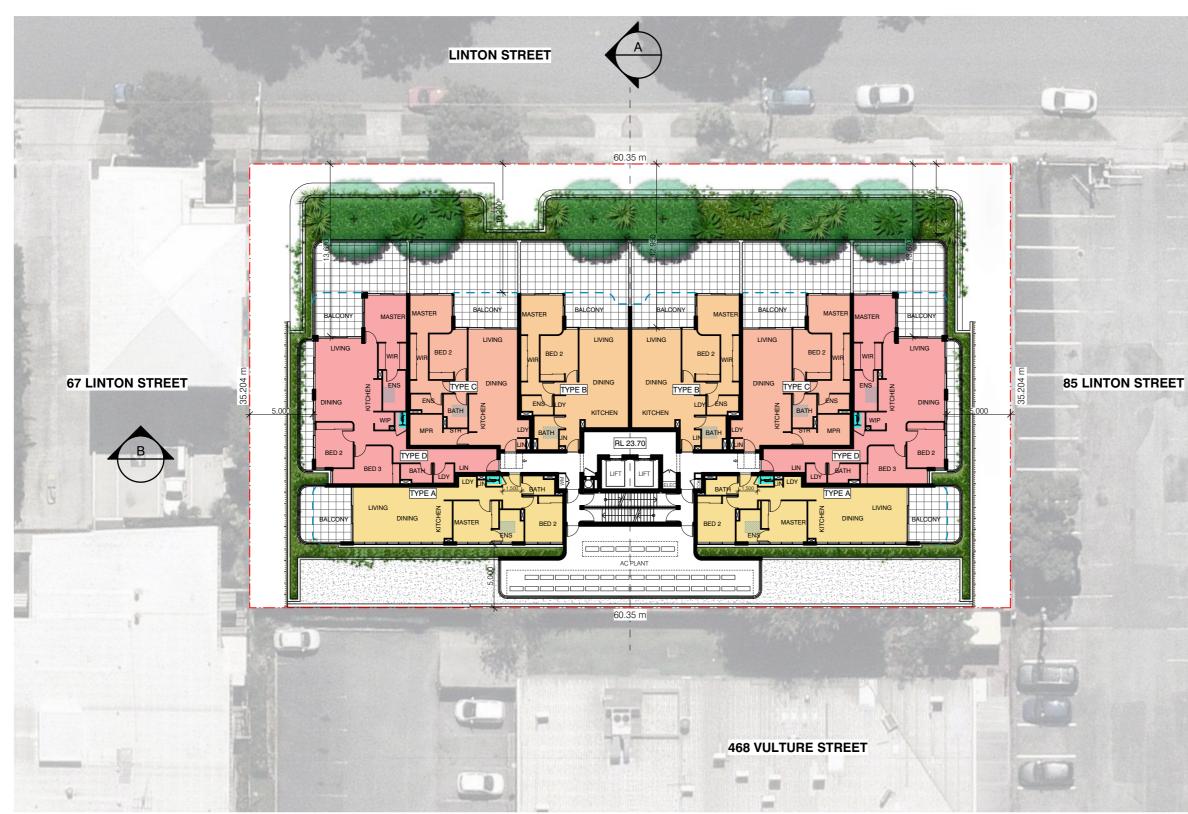
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## 9.6 Architectural Drawings

Level 6 Floor Plan



### LEVEL 6 FLOOR PLAN - 1:300 (A3)

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APPLICATION REF

A006350800

#### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

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CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

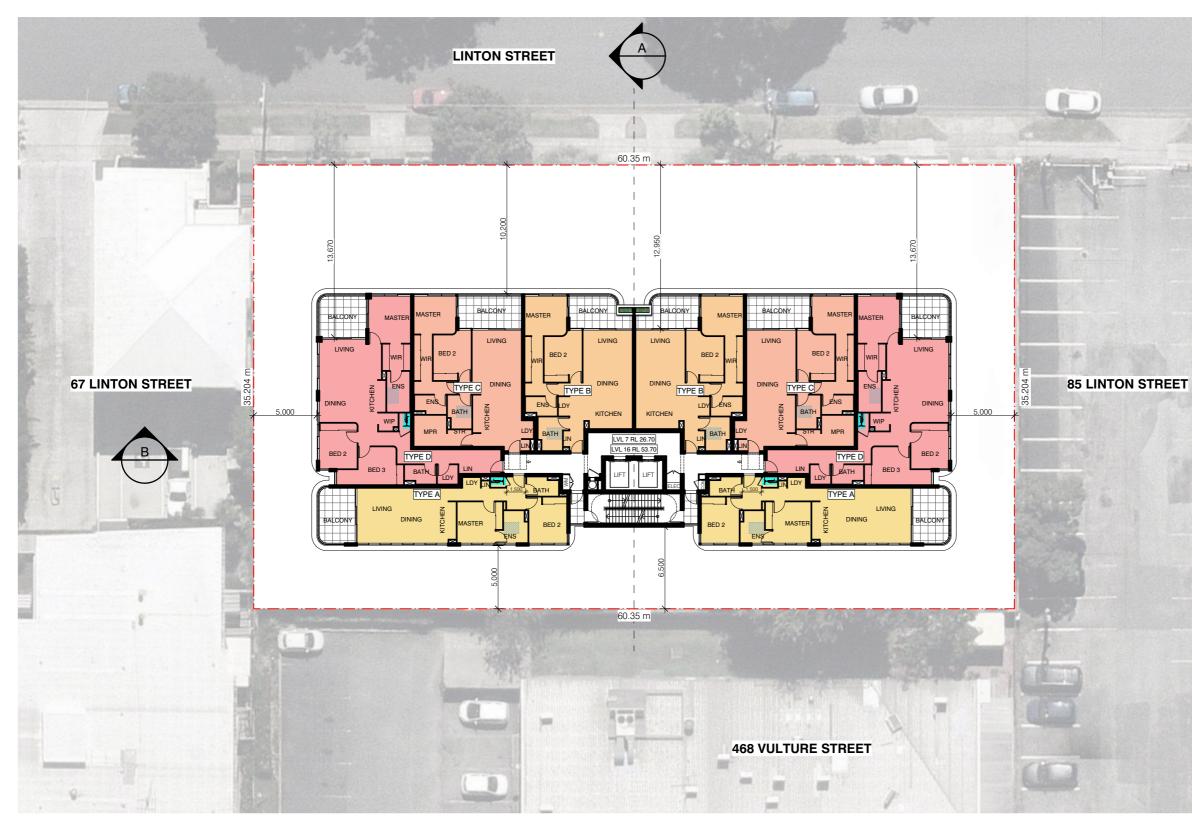
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## 9.7 Architectural Drawings

Level 7,9,10,12,13,15,16 Floor Plan



### LEVEL 7,9,10,12,13,15,16 FLOOR PLAN - 1:300 (A3)

BCC DS RECEIVED 02/05/2024

APPLICATION REF

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

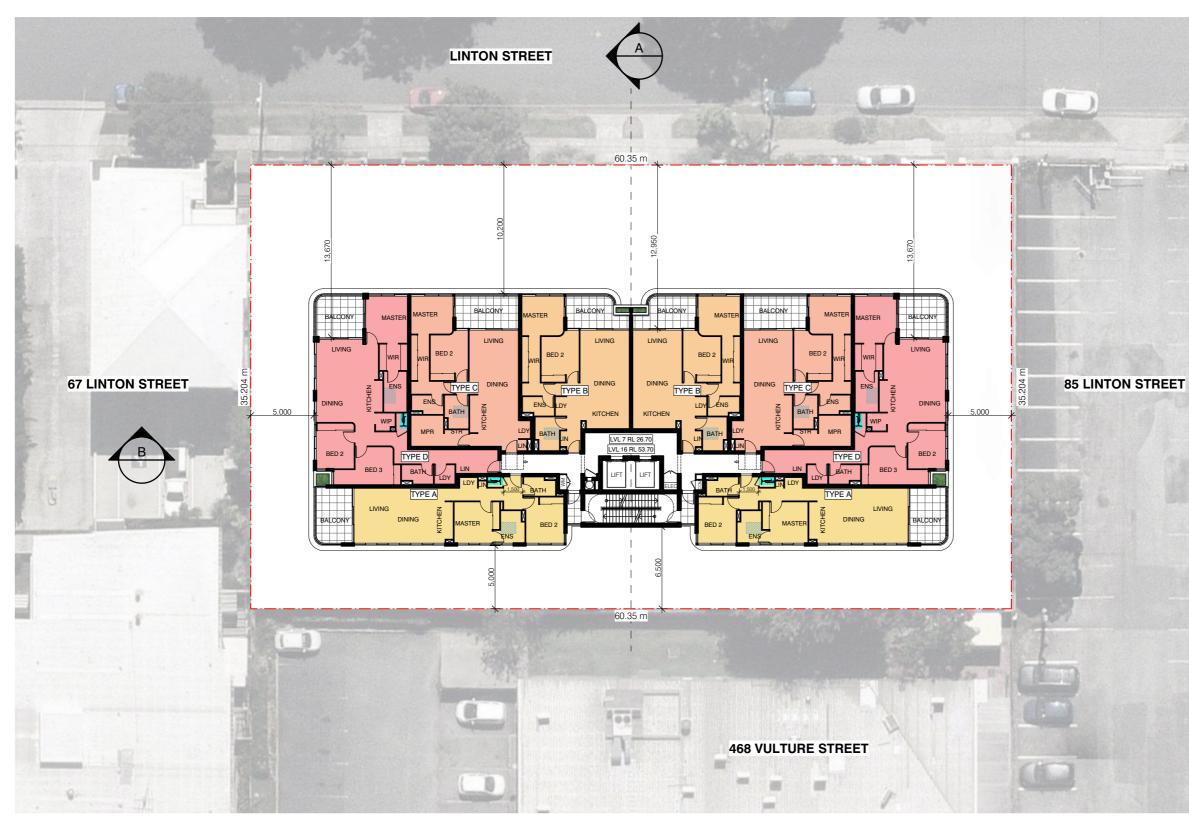
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\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



### 9.8 Architectural Drawings

Level 8,11,14 Floor Plan



### LEVEL 8,11,14 FLOOR PLAN - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

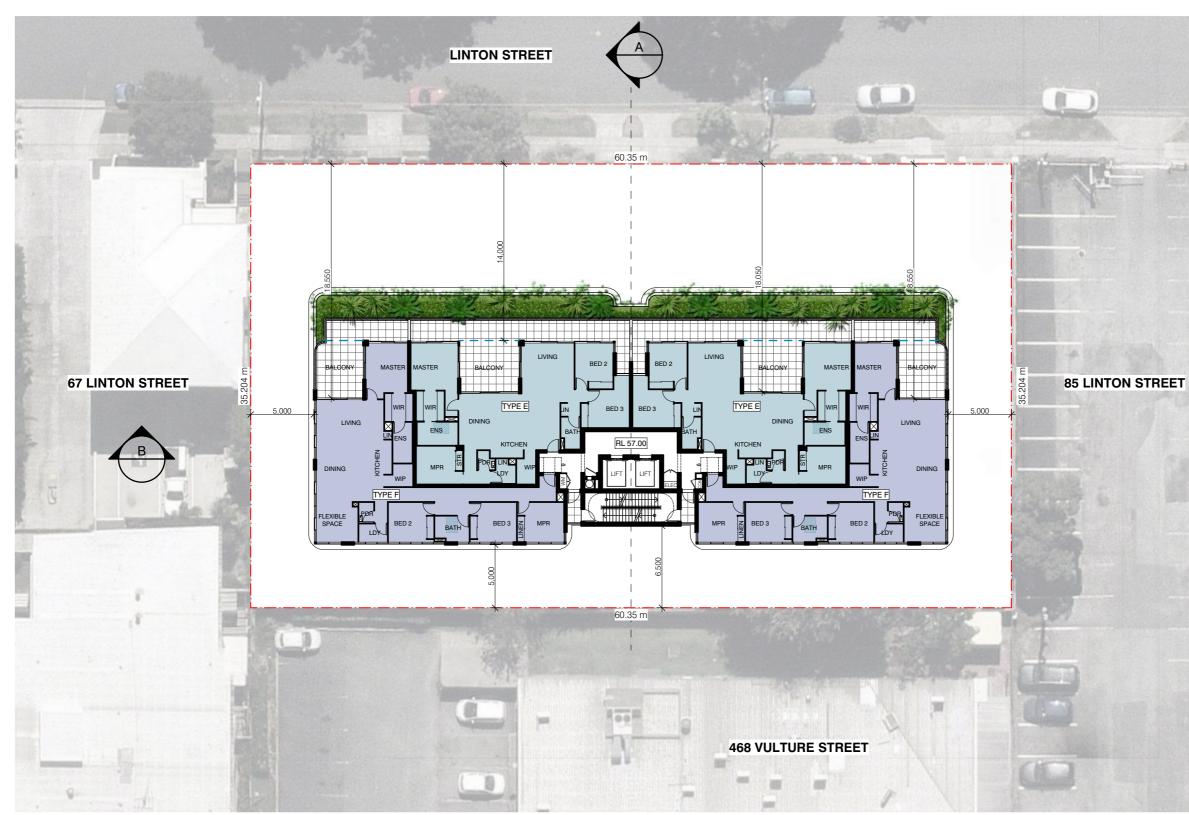
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\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



## 9.9 Architectural Drawings

Level 17 Floor Plan



### LEVEL 17 FLOOR PLAN - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA: 22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TOTAL	126 DWELLINGS	298 BEDS
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car

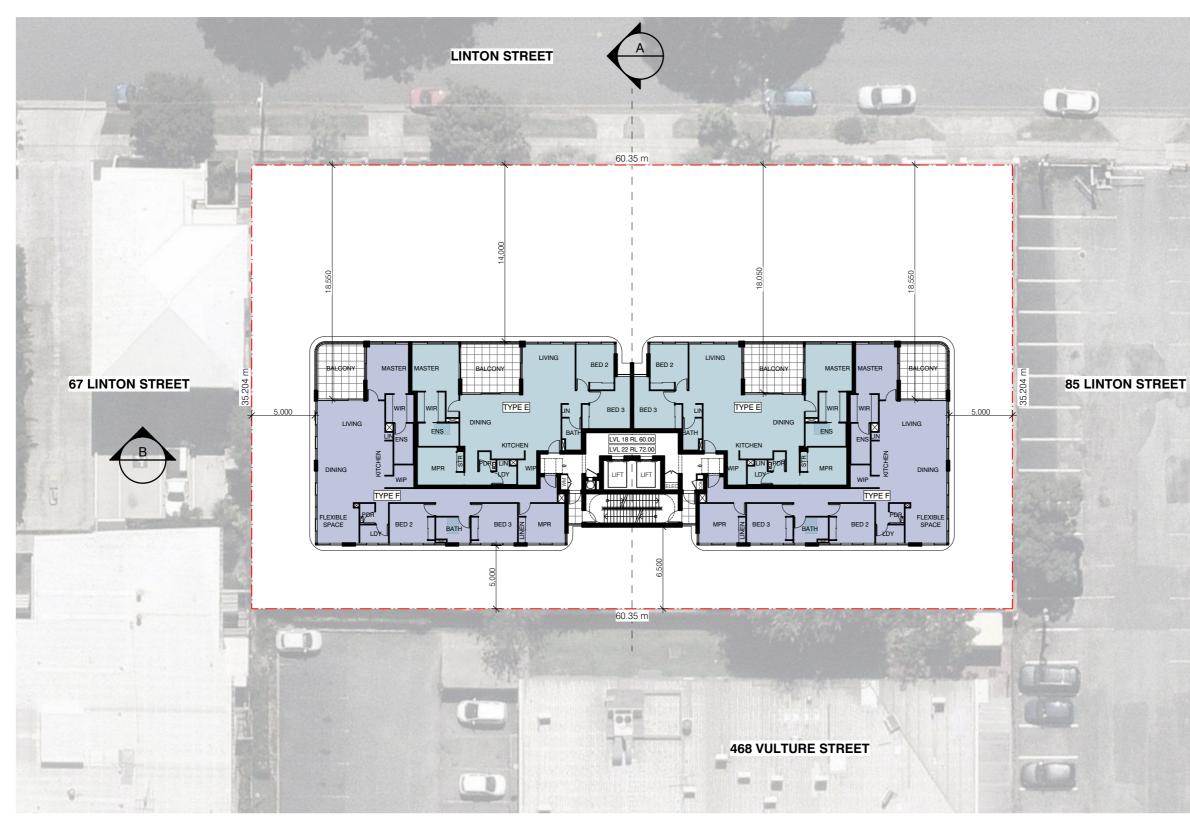
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## 9.10 Architectural Drawings

Level 18-22 Floor Plan



### LEVEL 18-22 FLOOR PLAN - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

APPLICATION REF

A006350800

### DEVELOPMENT SUMMARY TOTAL SITE AREA: 2,124 m<sup>2</sup>

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CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

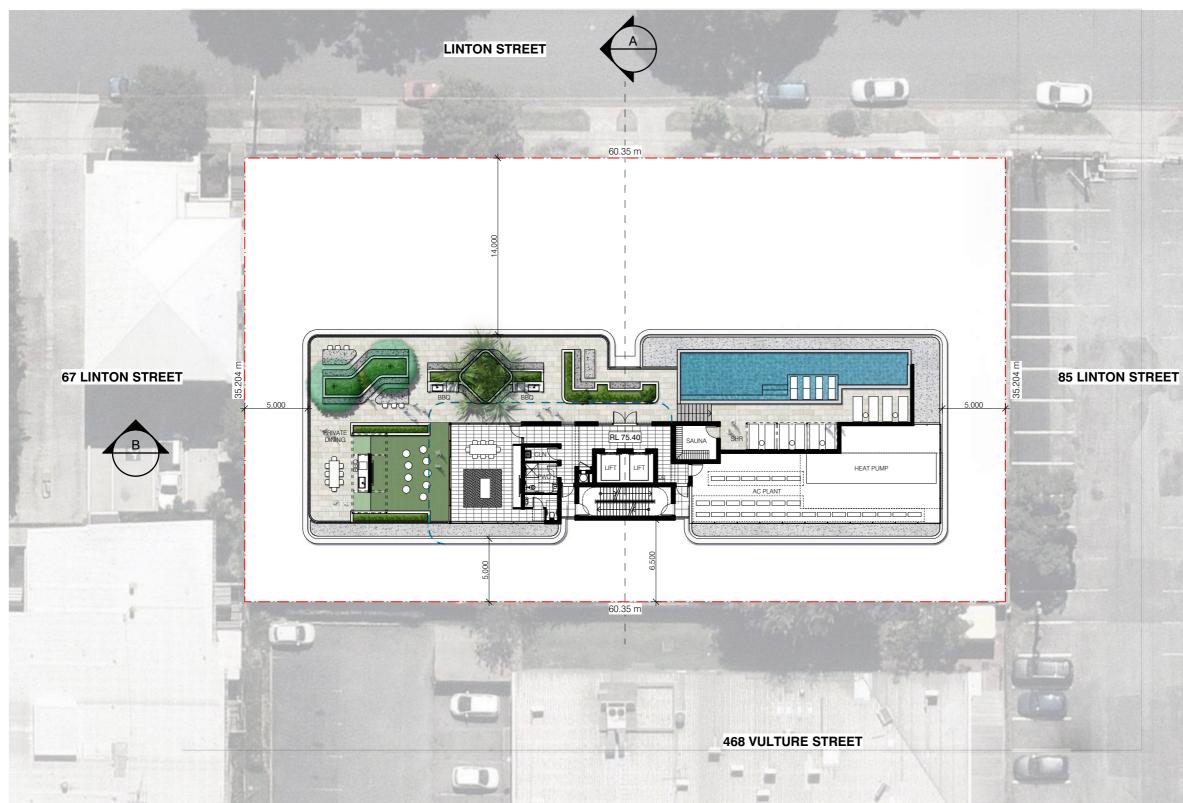
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\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.



## 9.11 Architectural Drawings

Roof Terrace Floor Plan



### **ROOF TERRACE FLOOR PLAN** - 1:300 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024

A006350800

### **DEVELOPMENT SUMMARY** TOTAL SITE AREA: 2,124 m<sup>2</sup>

Height: Site Cover Podium: Site Cover Lower Tower: Site Cover Upper Tower: Total Residential NSA:

22 Storeys 1,730m<sup>2</sup> (81.4%) 982m<sup>2</sup> (46.2%) 789m<sup>2</sup> (37.1%) 15,511m<sup>2</sup>

CAR PARKING	REQUIRED	PROVIDED
80 x 2 BED UNIT (1.1 CARS PER UNIT)	88 Car Parks	171 Car Parks
46 x 3 BED UNIT (1.3 CARS PER UNIT)	59.8 Car Parks	171 Gai Faiks
VISITORS (0.15 PER DWELLING)	18.9 Car Parks	19 Car Parks
EV CHARGING BAY	-	1 Car Park
TOTAL	167 Car Parks	191 Car Parks
RESIDENTIAL BICYCLES (1 PER UNIT)	126	96
VISITOR BICYCLES (1 PER 4 UNITS)	32	32
SHARED BICYCLES	-	5

#### RESIDENTIAL

TYPE P1	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P2	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P3	1 Unit (0.8%)	2 Bed,2 Bath, 1 Car
TYPE P4	7 Units (5.5%)	2 Bed,2 Bath, 1 Car
TYPE P5	4 Units (3.1%)	2 Bed,2 Bath, 1 Car
TYPE A	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE B	22 Units (17.5%)	2 Bed,2 Bath, 1 Car
TYPE C	22 Units (17.5%)	2 Bed + MPR 2 Bath, 1 Car
TYPE D	22 Units (17.5%)	3 Bed (Small) 2 Bath, 2 Cars
TYPE E	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TYPE F	12 Units (9.5%)	3 Bed + MPR 2 Bath, 2 Cars
TOTAL	126 DWELLINGS	298 BEDS

\* NSA Enclosed areas measured to the centre line of party walls, external walls & glazing. Balconies measured to the centre line of party walls, glazing, and balustrades. Areas are approximate and will be subject to change

\* GBA measured to the centre line of party walls and the outside face of external walls & glazing. Balconies measured to the centre line of party walls, and the outside face of glazing, and balconies.

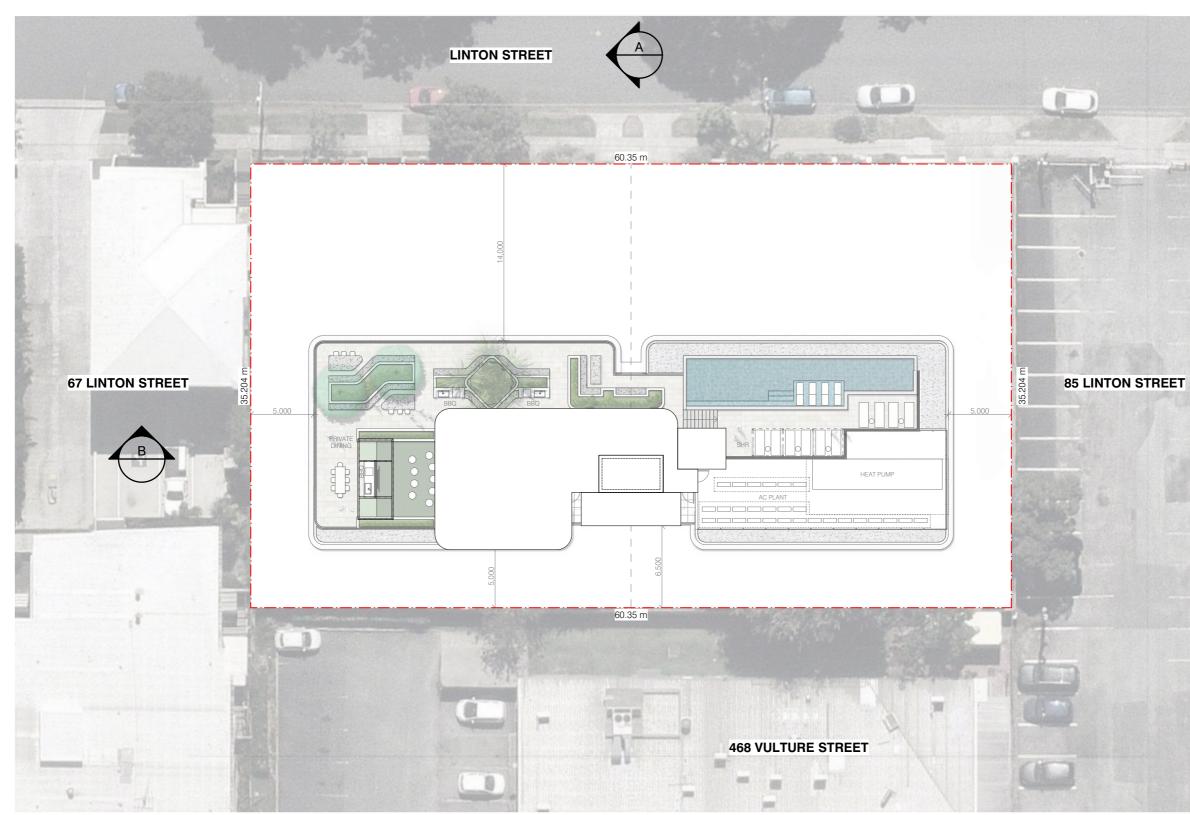






# 9.12 Architectural Drawings

Roof Plan



ROOF PLAN - 1:300 (A3)

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## 9.13 Architectural Drawings

North Elevation





\*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

NORTH ELEVATION (LINTON STREET) - 1:400 (A3)

542800 | 73-83 LINTON STREET, KANGAROO POINT | DEVELOPMENT APPLICATION | ISSUE A | 30 APRIL 2024



## 9.14 Architectural Drawings



\*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

EAST ELEVATION - 1:400 (A3)

### WEST ELEVATION - 1:400 (A3)

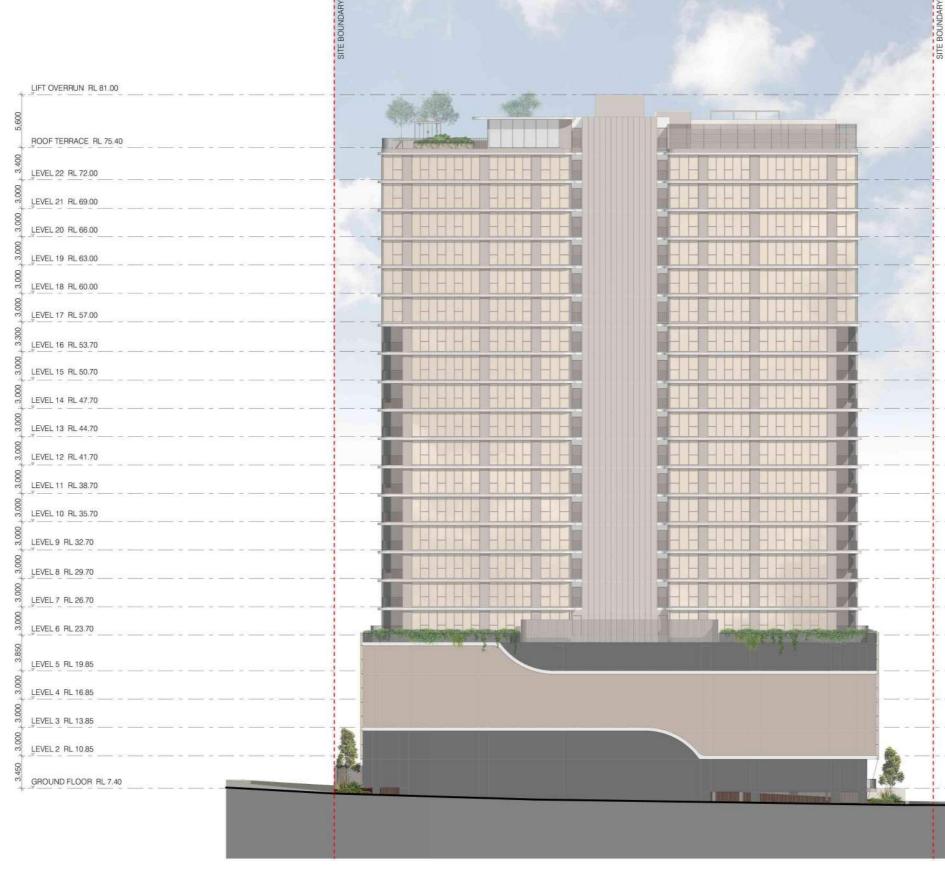




## 9.15 Architectural Drawings

South Elevation

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\*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

SOUTH ELEVATION - 1:400 (A3)



LIFT OVERRUN RL 81.00

ROOF TERRACE RL 75.40

LEVEL 22 RL 72.00

9.16 Architectural Drawings

Section A-A

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BOUND

E

5,600

3,400

SECTION A -	1:300 (A3)	
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\*Note: Landscape is indicative only. Refer Landscape Architect Report for detail.

LEVEL 21 RL 69.00	3,000	ТУРЕ Е	
LEVEL 20 RL 66.00	3000	ТУРЕЕ	
LEVEL 19 RL 63.00	3,000	ТУРЕ Е	
LEVEL 18 RL 60.00	3'000	туре е	
LEVEL 17 RL 57.00	3,000		
LEVEL 16 RL 53.70	3'300	ТУРЕ В	
LEVEL 15 RL 50.70		Туре в	
_EVEL 14 RL 47.70	3,000	ТҮРЕ В	
EVEL 13 RL 44.70	3.000	ТҮРЕ В	
EVEL 12 RL 41.70	3,000	ТУРЕ В	
EVEL 11 RL 38.70	3 3000	ТУРЕ В	
EVEL 10 RL 35.70	3000	ТҮРЕ В	
EVEL 9 RL 32.70		ТҮРЕ В	
EVEL 8 RL 29.70	3 000	ТҮРЕ В	
EVEL 7 RL 26.70		ТҮРЕ В	
EVEL 6 RL 23.70	3,000	ТУРЕ В	
EVEL 5 RL 19.85	3,850	TYPE P5	
EVEL 4 RL 16.85		TYPE P5	
EVEL 3 RL 13.85	3000	TYPE P5	
EVEL 2 RL 10.85	3 3 000		
GROUND FLOOR RL 7.40	3,450		TON ST
	+	FL 6.60	

COMMUNAL RECREATION

TYPE E

		· _ · _ · _ · _ ·	
INTON STREE	T 		
		SCALE: 1:200	@ A3 <b>bclcs</b> 88/90

SITE BOUND/

14,000

### SECTION B - 1:300 (A3)

*Note: Landscape is indication
only. Refer Landscape
Architect Report for detail.

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		LIFT OVERRUN RL 81.00							-							
917	Architectura	al Drawing			AL AR						_					
		ROOF TERRACE RL 75.40	SITE E		1 11	COMMU RECREAT				$\square$			AC PLANT			
<section-header></section-header>	1 D-D						<u> </u>							-		
		LEVEL 22 RL 72.00	3,400		TYPE F	TYPE E			ĻШ	_			TYPE E	1	TYPE F	
		LEVEL 21 RL 69.00	3.000		TYPE F	TYPE E							TYPE E		TYPE F	
		LEVEL 20 RL 66.00	3.000		TYPE F	TYPE E						TYPE E		1	TYPE F	
		LEVEL 19 RL 63.00	3,000		TYPE F	TYPE E	TYPE E						TYPE E		TYPE F	
		LEVEL 18 RL 60.00	3'000		TYPE F	TYPE E							TYPE E	T	TYPE F	
		LEVEL 17 RL 57.00	3'000		TYPE F	TYPE E							TYPE E	1	TYPE F	
		LEVEL 16 RL 53.70	3'300		TYPE	D							·	TYPE D		
		LEVEL 15 RL 50.70	*	5.000	TYPE	D								TYPE D		
		LEVEL 14 RL 47.70	3'000		TYPE	D				$\square$				TYPE D		
		LEVEL 13 RL 44.70	3'000		TYPE	TYPE D TYPE D						TYPE D TYPE D				
		LEVEL 12 RL 41.70	3'000		TYPE											
		LEVEL 11 RL 38.70	3'000		TYPE	D							TYPE D			
		LEVEL 10 RL 35.70	3,000		TYPE	TYPE D							TYPE D			
		LEVEL 9 RL 32.70	+ 3000	5,000	ТҮРЕ	D							TYPE D			
		LEVEL 8 RL 29.70			TYPE	TYPE D								TYPE D		
		LEVEL 7 RL 26.70			TYPE D						Π		TYPE D			
		LEVEL 6 RL 23.70	3,000	👘	TYPE	D								TYPE D		
		LEVEL 5 RL 19.85	3,850											1 * 14 1 * 14		
		LEVEL 4 RL 16.85	3000		<b>1</b> 7 A							A				
		LEVEL 3 RL 13.85	3,000		_									<u>s</u>		
	cape is indicative	LEVEL 2 RL 10.85	3.000													
	ndscape	GROUND FLOOR RL 7.40			BL 7.70			BINS			FCR	F	WD MSB		TYPE P3	
SECTIO	<b>DN B</b> - 1:300 (A3)								-							
	83 LINTON STREET KANGAROO PC		ATION   ISSUE		2024											

